



Shire of Northam
Heritage, Commerce and Lifestyle

SHIRE OF NORTHAM
MINUTES
ORDINARY COUNCIL MEETING
HELD
WEDNESDAY
16 DECEMBER 2015

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

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**Minutes of the Ordinary Meeting of Council held in the Council Chambers on
WEDNESDAY, 16 December 2015 at 5:30 pm.**

DISCLAIMER

No responsibility whatsoever is implied or accepted by the Shire of Northam for any act, omission or statement or intimation occurring during Council/Committee meetings or during formal/informal conversations with staff. The Shire of Northam disclaims any liability for any loss whatsoever and howsoever caused arising out of reliance by any person or legal entity on any such act, omission or statement or intimation occurring during Council/Committee meetings or discussions. Any person or legal entity who acts or fails to act in reliance upon any statement does so at that person's or legal entity's own risk.

In particular and without derogating in any way from the broad disclaimer above, in any discussion regarding any planning application or application for a licence, any statement or limitation of approval made by a member or officer of the Shire of Northam during the course of any meeting is not intended to be and is not taken as notice or approval from the Shire of Northam. The Shire of Northam warns that anyone who has an application lodged with the Shire of Northam must obtain and only should rely on **WRITTEN CONFIRMATION** of the outcome of the application, and any conditions attaching to the decision made by the Shire of Northam in respect of the application.

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1. OPENING AND WELCOME

The Shire President, Cr S B Pollard declared the meeting open at 5.31pm.

2. DECLARATION OF INTEREST

| Item Name | Item No. | Name | Type of Interest | Nature of Interest |
|--|----------|-----------------|--------------------|---|
| Tender 20 of 2015 - Replacement of Bridge 5029 - Spencers Brook Road - Clackline | 13.5.1 | Cr C R Antonio | Indirect Financial | Applicant is a client of his employer. Applicant pays fees to his employer, who in turn, pay his salary. |
| Tender 19 of 2015 - Tree Pruning, Tree Removal and Associated Works | 13.5.2 | Cr C R Antonio | Indirect Financial | Applicant is a client of his employer. Applicant pays fees to his employer, who pay his salary. |
| Tender 19 of 2015 - Tree Pruning, Tree Removal and Associated Works | 13.5.2 | Cr S B Pollard | Impartiality | Director of Specialised Tree Services P/L, Randle Beavis, is well known to him. |
| Tender 19 of 2015 - Tree Pruning, Tree Removal and Associated Works | 13.5.2 | Cr U Rumjantsev | Impartiality | Specialised Tree Services (Randle Beavis). Good friend, well known to him via various committees. Also, Specialised Tree Services have completed much work on his property and may be ongoing. |
| Application for a Change of Use - Private Recreation (Motorcycle Recreation Park) - Lot 471 Reserve 51213 Old Quarry Road, Northam | 13.2.3 | Cr R W Tinetti | Impartiality | He is a member of the Northam District Motorcycle Club (Inc) and Club patron. |
| Application for a Change of Use - Private Recreation (Motorcycle Recreation Park) - Lot 471 Reserve 51213 Old Quarry Road, Northam | 13.2.3 | Cr D A Hughes | Impartiality | His brother is a member of the Northam & District Motorcycle Club. |
| Elected Members Motions of Which Previous Notice Has Been Given | 14 | Cr S B Pollard | Financial | He supplies accounting services to Share & Care for which he receive fees. |
| Premier's Australia Day Active Citizenship Award 2016 | 16.1 | U Rumjantsev | Impartiality | ██████████ is known to him, more so to his wife Patricia Rumjantsev. ██████████ is well known to him through his activities with the (NACHA) Northam Heritage Forum, & AVVVA Avon Valley Vintage Vehicle Association. |
| Premier's Australia Day Active Citizenship Award 2016 | 16.1 | Cr D A Hughes | Impartiality | ██████████ are well known to him. |

3. ATTENDANCE

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COUNCIL

Councillors

S B Pollard
T M Little
D G Beresford
J E Williams
J Proud
R W Tinetti
C L Davidson
U Rumjantsev
C R Antonio
D A Hughes

Chief Executive Officer
Executive Manager Engineering Services
Executive Manager Development Services
Executive Manager Community Services
A/Executive Manager Corporate Services
Executive Assistant – CEO
Governance Officer
Customer Service Officer
Planning Officer

J B Whiteaker
C D Kleynhans
C B Hunt
R Rayson
C Green
A C Maxwell
C Greenough
K Hopkins
C Wynn

GALLERY

Twelve (12) members of the public
Tim Williams – Avon Valley Advocate

4. APOLOGIES

Nil.

5. LEAVE OF ABSENCE PREVIOUSLY APPROVED

Cr D A Hughes has been granted leave of absence from 1 January 2016 to 31 January 2016 inclusive.

Cr T M Little be granted leave of absence between the following dates: Saturday, 19 December 2015 to Sunday, 17 January 2016 inclusive.

6. APPLICATIONS FOR LEAVE OF ABSENCE

Nil.

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7. RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE

Nil.

8. PUBLIC QUESTION TIME

Andrew Woods – Withers Street, Northam

Question 1: Are all properties treated equally in terms of issuing fire break infringements?

Comments: Mr Woods advised that he has received a firebreak Infringement and feels victimised as there are a number of properties which he does not believe would meet the requirements, this includes Council owned properties.

Response: The Chief Executive Officer advised that Council looks to apply the requirements of the Bushfire Act equitably across the Shire. In addition, Council make the best endeavour to have its own land/property up to the requirements under the Act.

Question 2: What is being completed in relation to the overhanging trees, particularly on roads?

Response: The Chief Executive Officer advised that if it relates trees and power lines the Shire will receive a works order from Western Power if trees are hanging to close to power lines. He advised that he is unsure of the specific requirements for trees overhanging roads, apart from the risk management perspective and took this on notice. It was also advised that Council is considering a tender at this meeting for tree pruning, tree removal and associated works (see agenda item 13.5.2).

9. PUBLIC STATEMENT TIME

Trevor Harrison - Wootatting

Subject: Item 13.2.1 - Application for Retrospective Development Approval for a Dirt Bike Track (Recreation - Private) - Lot 6 Great Southern Highway, Wootatting

Basis of Address: Severe disruption to their home with dust/noise/devaluation.

Stated that he is an adjoining neighbour to the subject property. He advised that he does not believe that this is for personal use and that their application is misleading. It was stated that the track can be seen from the Great Eastern Highway and it is located near a designated crash area. In addition the track runs through a creek for

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the Mundaring Weir which he believes is impacted by the proposed development and will therefore have negative impacts on the environment/wildlife. In addition, the proposal represents a potential fire hazard, as outlined in the officer report, which may have also have an negative impact. He advised that the report states that the nearest residence is 500m however this is incorrect as his house is only 370m. In addition to these concerns there is a significant amount of dust (20m high) which results from this use on the property. Mr Harrison advised that he has lived at his residence for 25 years, and what started as a few jumps has now evolved into a complete motor cross track.

Brian Naismith – WKS Spatial

Subject: Item 13.2.1 - Application for Retrospective Development Approval for a Dirt Bike Track (Recreation - Private) - Lot 6 Great Southern Highway, Wootatting

Basis of Address: Was speaking on behalf of the proponent which was unfortunately unable to attend the meeting. Reiterated aspects of submitted application which was believed to not be obvious in the report. In addition he provided additional information relating to the history of the family ownership for the subject property.

Advised that the applicant's intention is to reside at the subject property and have cattle on the property which would assist in fire mitigation. It was advised that the use the subject of this application had ceased since this application was made and that the owner had developed the site in ignorance of the requirements for a planning approval. A response was provided in relation to issues raised with the photographs of the site and the incorrect representation some people feel that they make of the site. The meeting was advised that the photographs were taken when the land was surveyed, there was no intention to misrepresent what the site may look like in summer. Mr Naismith confirmed that the track is visible from the road, however is not accessible as the gates are locked and it is only intended to be utilised for private use (one family member at any time) during the times specified in the officer's recommendation.

10. PETITIONS/DEPUTATIONS/PRESENTATIONS

Nil.

11. CONFIRMATION OF MINUTES OF PREVIOUS MEETINGS

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11.1 CONFIRMATION OF MINUTES OF PREVIOUS COUNCIL MEETINGS

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2595

Moved: Cr Hughes
Seconded: Cr Davidson

That the minutes of the meeting held Wednesday, 18 November 2015 be confirmed as a true and correct record of that meeting

CARRIED 10/0

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2596

Moved: Cr Rumjantsev
Seconded: Cr Antonio

That the minutes of the meeting held Monday, 30 November 2015 be confirmed as a true and correct record of that meeting

CARRIED 10/0

11.2 RECEIPT OF NOTES OF THE COUNCIL FORUM MEETING

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2597

Moved: Cr Antonio
Seconded: Cr Little

That the notes of the Council Forum meeting held Wednesday, 9 December 2015 be received.

CARRIED 10/0

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Heritage. Commerce and Lifestyle

SHIRE OF NORTHAM

NOTES
COUNCIL FORUM MEETING
HELD
WEDNESDAY
9 DECEMBER 2015

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Preface

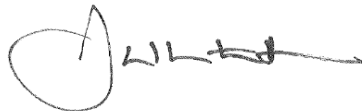
When the Chief Executive Officer approves these Notes for distribution they are in essence "informal notes."

At the next Ordinary Meeting of Council the Notes will be received, subject to any amendments made by the Council. The "Received" Notes are then signed off by the Presiding Person.

Please refer to the Ordinary Council meeting agenda and minutes for further information and details in relation to the matters and items discussed at the Forum meeting.

Unconfirmed Notes

These notes were approved for distribution on 10 December 2015.



JASON WHITEAKER
CHIEF EXECUTIVE OFFICER

Received Notes

These notes were received at an Ordinary Meeting of Council held on 16 December 2015.

Signed:

Note: The Presiding Member at the meeting at which the minutes were confirmed is the person who signs above.

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**Notes of the Forum Meeting of Council held in the Council Chambers on
WEDNESDAY, 9 December 2015 at 5:30 pm**

DISCLAIMER

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1. OPENING AND WELCOME

The Shire President, Cr S B Pollard declared the meeting open at 5.30pm.

2. DECLARATION OF INTEREST

| Item Name | Item No. | Name | Type of Interest | Nature of Interest |
|--|----------|-----------------|--------------------|---|
| Tender 20 of 2015 - Replacement of Bridge 5029 - Spencers Brook Road - Clackline | 13.5.1 | Cr C R Antonio | Indirect Financial | Applicant is a client of his employer. Applicant pays fees to his employer, who in turn, pay his salary. |
| Tender 19 of 2015 - Tree Pruning, Tree Removal and Associated Works | 13.5.2 | Cr C R Antonio | Indirect Financial | Applicant is a client of his employer. Applicant pays fees to his employer, who pay his salary. |
| Tender 19 of 2015 - Tree Pruning, Tree Removal and Associated Works | 13.5.2 | Cr S B Pollard | Impartiality | Director of Specialised Tree Services P/L, Randle Beavis, is well known to him. |
| Tender 19 of 2015 - Tree Pruning, Tree Removal and Associated Works | 13.5.2 | Cr U Rumjantsev | Impartiality | Specialised Tree Services (Randle Beavis). Good friend, well known to him via various committees. Also, Specialised Tree Services have completed much work on my property and may be ongoing. |
| Application for a Change of Use - Private Recreation (Motorcycle Recreation Park) - Lot 471 Reserve 51213 Old Quarry Road, Northam | 13.2.3 | Cr R W Tinetti | Impartiality | He is a member of the Northam District Motorcycle Club (Inc) and Club patron. |

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| Elected Members Motions of Which Previous Notice Has Been Given | 14 | Cr S B Pollard | Financial | He supplies accounting services to Share & Care for which I receive fees. |

3. ATTENDANCE

COUNCIL

Councillors

S B Pollard
T M Little
J E Williams
J Proud
R W Tinetti
C L Davidson
U Rumjantsev
C R Antonio
D A Hughes

Chief Executive Officer
Executive Manager Engineering Services
Executive Manager Development Services
Executive Manager Community Services
A/Executive Manager Corporate Services
Executive Assistant – CEO
Manager Planning Services
Planning Officer

J B Whiteaker
C D Kleynhans
C B Hunt
R Rayson
C Green
A C Maxwell
K Nieuwoudt
C Wynn

GALLERY

Seven (7) members of the public.

4. APOLOGIES

Councillors

D G Beresford

5. LEAVE OF ABSENCE PREVIOUSLY APPROVED

Cr D A Hughes has been granted leave of absence from 1 January 2016 to 31 January 2016 inclusive.

Cr T M Little be granted leave of absence between the following dates: Saturday, 19 December 2015 to Sunday, 17 January 2016 inclusive.

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6. APPLICATIONS FOR LEAVE OF ABSENCE

Nil.

7. RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE

Nil.

8. PUBLIC QUESTION TIME

Nil.

9. PUBLIC STATEMENT TIME

Nil.

10. PETITIONS/DEPUTATIONS/PRESENTATIONS

Nil.

11. CONFIRMATION OF MINUTES OF PREVIOUS MEETINGS

Changes to be made;

- Page 67 – Cr Antonio needs to be replaced with Cr Williams for elected members voting against the motion.
- Page 68 - Cr Williams needs to be replaced with Cr Williams for elected members voting against the motion.

Staff are to amend the minutes accordingly. These will be circulated and updated on the Shire website on 10 December 2015.

12. ANNOUNCEMENTS BY THE PRESIDING OFFICER WITHOUT DISCUSSION

No comments or questions were raised.

13. REPORTS OF OFFICERS

13.1 ADMINISTRATION

Nil.

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13.2. DEVELOPMENT SERVICES

The Shire President advised that the order of business would be adjusted and item 13.2.3 would be brought forward due to several members of the Gallery having an interest.

13.2.3 APPLICATION FOR A CHANGE OF USE - PRIVATE RECREATION (MOTORCYCLE RECREATION PARK) - LOT 471 RESERVE 51213 OLD QUARRY ROAD, NORTHAM

Comment:

- Staff advised that an objection had been received which was not detailed in the report. Staff have discussed the matters raised with the objector and are now awaiting confirmation for the objection to be withdrawn. If this does not occur, Council will be provided with this information accordingly.
- Clarification was sought around whether all parties were consulted with in terms of the lease agreement for the reserve, staff confirmed that this has occurred.
- There was a question around accessibility of power, it was confirmed that there is power to the site and that the sourcing of power is the responsibility of the Club.
- There was a question on Condition 8, it was advised that this is to be amended to accommodate for members who may need to 'tune' their motorcycle's prior to events. It was suggested that there be a specified day during the week for this to occur. Condition 8 of the officer's recommendation will be amended as per the below;

8. The hours of operation of the land use hereby permitted shall be limited between 1st March and 31st October between the hours of 08:00 to 17:00 hours Saturday, Sunday and one weekday, excluding public holidays unless subject to a separate event approval obtained from the local government.

Four (4) members of the Gallery departed the Council Chambers at 5.43pm.

13.2.1 APPLICATION FOR RETROSPECTIVE DEVELOPMENT APPROVAL FOR A DIRT BIKE TRACK (RECREATION - PRIVATE) - LOT 6 GREAT SOUTHERN HIGHWAY, WOOTATTING

Comment:

- Clarification was sought around the Planning Regulations and Local Planning Scheme. Staff advised that there are elements of the Regulations which override the Scheme (due to the recent changes in the Regulations)
- There was a question in respect to the jump heights and if these were slightly smaller would it then obviate the need for a planning approval. It was confirmed by staff that this would be the case however there remained other

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elements which could act to control the activity on the land (e.g. noise and dust requirements).

- Clarification was sought around the definition of amenity and whether it is the same for 'Rural Zone' in comparison with the 'Rural Residential Zone'. Staff confirmed the definition of amenity remains the same however the assessment of amenity is different as the context used to assess the amenity in the Zone.

The Planning and Development (Local Planning Schemes) Regulations 2015 define **Amenity** as:

"... all those factors which combine to form the character of an area and include the present and likely future amenity;"

- It was questioned whether the height of grass is a relevant planning consideration. Staff confirmed that it has been raised as an issue and therefore staff have taken this into consideration when determining the recommendation.
- The first sentence under 'Officer's Comment' details 5 issues however only 4 have been dot pointed. Staff will amend this to '4' and remove the 'and' at the end of the last dot point. This will be detailed in the minutes of the Ordinary Council meeting.

13.2.2 APPLICATION FOR DEVELOPMENT APPROVAL TO EXTEND THE TAVERN USE (LOOSE FOOT SALOON) AT LOT 800 BODEGUERO WAY, WOOROLOO

Comment:

- It was questioned whether a demolition permit is required for the gazebo and if so, should this be included as an advice note in the recommendation. Staff confirmed that this is a requirement and will amend the recommendation to include this note. The following note is to be added to the Officer's recommendation;

NOTE 13: A Demolition Permit is required to be obtained from the Local Government's Building Department prior to the removal of the pergola structure.

- It was questioned whether staff considered other developments in the area (e.g. Mauravillo, El Caballo) and subsequent potential growth which may occur when determining an adequate number of car bays. See additional staff comments below.
- It was questioned whether there was the potential to have the numbers of bays required under the Scheme actually constructed on the site. If so, is

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landscaping going to be provided in lieu in accordance with section 5.13.6 of the LPS No.6. See additional staff comments below.

- It was questioned whether this application has been dealt with consistently in respect to other applications. Staff advised that this can only occur to an extent as some applications may be subject to relevant Council policies.
- It was questioned whether car parking can be extended to the East, if needed. It was confirmed that an addition of approximately 80 bays can be added if necessary.
- It was questioned whether there was only going to be unisex toilets provided. It was confirmed that there are both male and female toilets, with the disabled toilet being unisex.
- The locality was questioned, staff are to investigate and confirm whether this is within Wooroloo or Wundowie. Upon investigation, staff can confirm that the suburb is Wooroloo and locality is Wundowie.

Additional Staff Comments

With respect to the issue of car parking the following comments are provided by staff –

There are considered to be four options to address the issue of the under-provision of car parking relative to Scheme Standards, namely-

1. Via an increase in on-site car parking provision and/or a reduction in the floorspace of the proposed land use such that levels of car parking provision are brought into consistency with Scheme standards;
2. Via a relaxation of Scheme standards pursuant to clause 5.6 of the Scheme;
3. Via off-site car parking provision (clause 5.13.5 of the Scheme); or
4. Via landscaping in lieu of car parking spaces not constructed (clause 5.13.6 of the Scheme).

Each of the above options is outlined and discussed below.

Option 1: Increase in parking provision and/or reduction in floorspace

The simplest way to achieve an increase in car parking provision would be to allow more of the site to be used for car parking. That would, however, significantly add to the cost of the development.

A reduction in floorspace would be contrary to the purpose of the project, which is to extend the tavern use at Lot 800 Bodeguero Way, Wooroloo.

Option 1, whilst potentially allowing for a development that would meet Scheme car parking standards, would clearly not meet Loose Foot Saloon's objectives. As such, Option 1 is not considered further.

Option 2: Relaxation of Scheme standards (officers' preferred option)

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Clause 5.6 of the Scheme provides for 'Variations to Site and Development Standards and Requirements'. Clause 5.6 states as follows:

"5.6 VARIATIONS TO SITE AND DEVELOPMENT STANDARDS AND EQUIREMENTS

- 5.6.1 *Except for development in respect of which the Residential Design Codes apply, if a development is the subject of an application for planning approval and does not comply with a standard or requirement prescribed under the Scheme, the local government may, despite the non-compliance, approve the application unconditionally or subject to such conditions as the local government thinks fit.*
- 5.6.2 *In considering an application for planning approval under this clause, where, in the opinion of the local government, the variation is likely to affect any owners or occupiers in the general locality or adjoining the site which is the subject of consideration for the variation, the local government is to –*
- (a) consult the affected parties by following one or more of the provisions for advertising uses under clause 9.4; and*
 - (b) have regard to any expressed views prior to making its determination to grant the variation.*
- 5.6.3 *The power conferred by this clause may only be exercised if the local government is satisfied that –*
- (a) approval of the proposed development would be appropriate having regard to the criteria set out in clause 10.2; and*
 - (b) the non-compliance will not have an adverse effect upon the occupiers or users of the development, the inhabitants of the locality or the likely future development of the locality."*

As such, were the Shire to relax Scheme standards, it should first be satisfied that-

1. The change of use will not generate the level of peak car parking demand predicted by the Scheme; or
2. For the foreseeable future, existing public car parking provision in the locality is sufficient to make up for any shortfall in on-site car parking provision.

With respect to the level of peak car parking demand that may be generated by the development (point 1 above), Council's planning officers, having looked at this issue, is of the view that the level predicted by the Scheme is indisputably unreasonable.

It is considered that a relaxation of car parking standards could be considered on the basis of the quantitative information as well as the anecdotal evidence provided by the applicant that formed the subject of Attachment 3 (Parking Demand Analysis) of the officer's report.

Point 2 above cannot be considered because the tavern is located in a semi-rural setting and a public carpark does not exist in the locality.

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It is also considered the non-compliance with the parking standards of the Scheme will not have an adverse effect upon the occupiers or users of the development, the inhabitants of the locality or the likely future development of the locality.

Option 3: Off-site car parking provision (clause 5.13.5)

The car parking shortfall could be addressed through off-site provision by providing car parking on another nearby site.

Clause 5.13.5 states-

“5.13.5 Where an applicant for planning approval can demonstrate that other off-street parking facilities are available to be shared with other land uses operating at different times, the local government may approve a development with less than the required number of on-site car bays provided –

- (a) the local government is satisfied that no conflict will occur in the operation of land uses for which the joint use of parking facilities is proposed; and*
- (b) landowners who request sharing of parking facilities enter into a legal agreement to the local government’s satisfaction for reciprocal access to parking facilities.”*

This option could also be considered, however, it is not officers’ preferred option because the applicant has suitably demonstrated that the tavern is unlikely to generate the level of peak car parking demand predicted by the Scheme.

Option 4: Landscaping in lieu of car parking spaces not constructed (clause 5.13.6)

The parking shortfall could be addressed through landscaping in lieu of car parking spaces not constructed.

The land to the west and east of the existing development appears to be available for this purpose. If this option was to be pursued by Council then the proposed carparking layout would need to be amended to show all required bays on the lot, with annotation as to which bays are to be defined as landscaping and which physically constructed.

This option is, however, not favoured by staff for the reasons cited under Option 3 and on the basis that it is staff’s opinion that the total number of bays required by the Scheme is not appropriate in this case. This option would likely be implemented if staff and/or Council were unsure if a reduction in the total number of bays required was appropriate.

Three (3) members of the Gallery departed the Council Chambers at 6.15pm.

13.2.4 PROPOSED ROAD NAME – LANEWAY 1, 4 AND 7, NORTHAM AND ENDORSEMENT OF ROAD NAME REGISTER

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Comment:

- The following roads were raised as being established or similar to roads within the Shire of Northam;
 - No. 2 - Ashman
 - No. 63 - Watson
 - No. 45 - McPherson
 - No. 68 - Yates
 - No. 66 - Woods
 - No. 26 - George
- It was questioned whether consultation included the Historical Society. Staff confirmed that this had occurred however no response was received.

13.2.5 SEA CONTAINER POLICY REVIEW

Comment:

- Clarification was sought in respect to the changes made to the policy. It was advised that these have been dot pointed under the 'Background' section of the report.
- Questions were raised around the process for handling retrospective approvals. Staff advised that if there is no valid approval it will be dealt with under this policy, else the policy may not be applied retrospectively to approved sea containers.

13.2.6 RFT 21 OF 2015 – INKPEN FIRE SERVICES BUILDING

No comments or questions were raised.

13.2.7 NORTHAM RECREATION CENTRE AIR-CONDITIONING FEASIBILITY

Comment:

- It was questioned what was used in other recreation centres around the State. Staff advised that there is a variety of alternatives used from air conditioning to fans.
- It was questioned whether the fans would affect the sport being played e.g. flight of the ball. Staff confirmed that it would not have an impact.
- Clarification was sought around replacement costs and annual sinking funds. An explanation was provided as to how these concepts operated.

13.3. CORPORATE SERVICES

13.3.1 ACCOUNTS AND STATEMENTS OF ACCOUNTS

Comment:

- Questions were asked on the details of payment EFT21400, EFT21456 and EFT21526.

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13.3.2 FINANCIAL STATEMENTS TO 31 OCTOBER 2015

Comment:

- Staff advised that the financial statements were amended and the correct version has been updated in the agenda.
- Questions were asked around the current assets, under Note 5. The CEO advised that he would investigate.
- Clarification was sought around the over expenditure detailed in the Budget YTD figures under Note 10, Operating (page 193 of agenda). Staff advised that an unbudgeted amount must be approved by Council and that the CEO can vary/over expend 10% however, this must be reported to Council.
- Questions were asked around the budget review process which the CEO explained.
- Staff advised that they will be looking at changing the format of the financial statements.

13.3.3 RATES EXEMPTION – LOT 25 (4) ELIZABETH PLACE, NORTHAM

Comment:

- Questions were asked around whether the applicant is required to own the land. It was clarified that the ownership does not impact this matter as it is the use of the land which entitles the rates exemption.
- It was questioned whether all charities are given this exemption, to which staff confirmed all charities are entitled.

13.3.4 RATES EXEMPTION – LOT 378 (11) FAIRWAY BEND, NORTHAM

Comment:

- It was questioned whether they would be required to reapply for this exemption every financial year. Staff advised that they do not, however if the use of the land changes then they are no longer entitled to the exemption.
- It was questioned whether there had been any further progress by WALGA in relation to rates exemptions for religious bodies. Staff advised that there has been no further progress.

13.4. COMMUNITY SERVICES

Nil.

Cr C R Antonio departed the Council Chambers at 6.47pm.

13.5. ENGINEERING SERVICES

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13.5.1 TENDER 20 OF 2015 - REPLACEMENT OF BRIDGE 5029 - SPENCERS BROOK ROAD - CLACKLINE

Comment:

- The numbering under the 'Officer's Comment' is to be adjusted, this will be detailed in the minutes of the Ordinary Council meeting.
- Questions were asked in relation to the possibility of funding through Main Roads WA. Staff advised that this will not be considered due to the bridge not receiving the necessary maintenance. It was advised that if this maintenance occurred, these works may have potentially been avoided.
- It was questioned whether there is a maintenance program in place for Shire bridges. Staff confirmed that there is a program in place and has been included in the current budget.
- It was questioned whether advertising will be undertaken once this decision has gone through Council. Staff advised that this will occur, however the date has not yet been determined.

13.5.2 TENDER 19 OF 2015 - TREE PRUNING, TREE REMOVAL AND ASSOCIATED WORKS

Comment:

- Clarification was sought on the provisional sum. Staff advised that this based on the unit costs for delivery of these works.

Cr C R Antonio returned to the Council Chambers at 6.54pm.

Cr S B Pollard departed the Council Chambers at 6.55pm.

14. ELECTED MEMBERS MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

14.1 REQUEST TO WAIVER TIPPING FEES

Comment:

- Staff advised that a briefing note will be provided to the elected members on 10 December 2015. This will provide a detailed response and proposal for a way to move forward with this matter.
- Staff advised that they have meet with the Regional HACC Coordinator and CEO of Share & Care.
- Staff advised that a possible option being considered may be to provide a tip pass to the resident which has been stamped by Share & Care, the contractor can then show this to the staff at the tip upon attendance.

Cr S B Pollard Returned to the Council Chambers at 7.02pm.

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Briefing Note

As a result of the recent Council decision to;

1. *Does not permit any not-for-profit government funded organisations, their commercial contractors or any community organisations to dispose free of charge at the Councils Waste Management facilities due to the high costs associated with the management of a landfill facility; and*
2. *Advise Share and Care Community services of the above resolution and request staff to work with the organisation to utilise the free bulk bin services for the Northam townsite.*

There has obviously been an amount of discussion and conjecture over the decision and the quality of information provided to enable Council to make an informed decision. With this in mind the staff authoring the report were requested to review it and provide advice in relation their sources and perception of its efficacy.

The staff provided the following general feedback;

1. The report was erroneous in indicating that it was based on advice from a former staff member. The facts are that staff did request information from Share and Care (acknowledging that perhaps more information could have been sought and more clarity could have been provided around why the information was being requested). Staff have made comment that they found the information which was forthcoming to be unclear, hence the HACC website was utilised as a source of information. In addition as the Council offers HACC services the staff consulted internally with this person (who also happened to be a former Share and Care employee). The information in the report was based on all of these sources;
2. While there are some point which have been raised to refute the comments made by staff, the report was provided based on what the staff considered to be the available information

The following clarifications were subsequently provided by Share & Care. These clarifications are quoting the staff report and providing a comment in relation to this. An additional officer comment has been provided by the CEO and Executive Manager of Development Services under each of these to provide a subsequent view. This comment is based on a meeting with the Share and Care CEO along with the Regional HACC Coordinator;

1. **“That the garden maintenance program conducted by us would not be affected” should we be required to pay tip fees**

FACT (from Share & Care): The cost is not built into our service and never has been, Share & Care in the past must have had some agreement with the Council because we have never paid tip fees. To have to do so now would mean those

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costs would have to be found, in essence by the seniors we service, or, in a very long and protracted (often 12 months process whereby we apply for funding, this means our unit price would be increased and our volumes would have to drop. In plain English this means we get no extra funds, we would have to drop a number of clients and then utilise those funds for the tip fees. Again our seniors would be penalised.

It is apparent that there is in fact a potential impact on the services delivered by Share and Care. This is in the event that additional funding was unable to be secured. After meeting with the relevant persons (as previously mentioned) staff remain unclear as to the funding process.
The potential impacts on the program could be that the number of services provided may be diminished if this additional funding cannot be obtained. However other service providers may pick up these services.

2. **“This is due to the fact that the home maintenance program which is utilised by Home and Community Care clients must be full or partial pensioners”**

FACT (from Share & Care): Income is not the determining factor in assessment, the capability of the client in maintaining their garden is.

No additional comment required.

3. **“Similarly the same home maintenance program is available to a mental health funded program which is funded by the Federal Government”.**

FACT (from Share & Care): Not with us it is not, our Mental Health clients pay their own gardeners should they require a service

No additional comment required.

4. **“It is noted that Share & Care would only need to put in a request to the funding body to have their funding increased to cover the tip fees”.**

FACT (from Share & Care): See number 1. We would ask why the Council is asking for the costs when every other ratepayer is entitled to the free 10 passes per annum.

While staff believe the fact is correct, the error was perhaps in use of terminology and the impression of the ease of obtaining increased funding. Staff remain of the view that additional funds could be applied for, whether or not this request would be successful is however unknown.

5. **“Further to the above, it should be mentioned that further Shire subsidy for this program means the Shire of Northam ratepayers would, in effect, be**

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subsidising a program that is intended to be fully funded by State and Federal taxes”

FACT (from Share & Care): We are not sure how this conclusion is drawn. Each ratepayer is allowed 10 free passes to the tip per annum. None of our clients would utilise a pass every month or less. They average one pass every 2-3 months. Is there any reason why our frail and aged cannot utilise their tip passes just as every able bodied ratepayer does?

Another point of conjecture. The point being made by staff was that if the program is funded by the State & Commonwealth, so with additional Local Government costs this would be cross subsidising.

In saying this the point made by Share and Care is of relevance and a matter which should have been explored in more detail by staff in the initial report. The point that if these residents were 'able' they would utilise their tip passes to take the rubbish to the tip. The fact that they are not able, and therefore relying on others to do this for them, is disadvantaging them further.

It is understood that other organisations can provide similar services through funding provided by HACC and as such should an agreement be reached with Share and Care to provide utilise the tip passes the same opportunity should be available to those service providers as well.

Share and Care have no objection to paying for anything over and above the client's 10 free passes per annum and request a meeting with you to further explore options, something we feel could have been offered before asking an “ex-employee” who obviously does not have the knowledge you have assumed. If you so desire, Ms Linda Smith, our Home and Community Care Project Officer is willing to also attend the meeting.

The general philosophy of enabling the pensioners to utilise their tip passes is supported. It is a matter which should have possibly been explored in further detail. In saying this staff are of the view that the initial resolution/recommendation is not unreasonable, it could however be built on by clarifying that the use of the Tip Passes is permitted.

RECOMMENDATION

- 1. That Council reaffirms its position that Share and Care and/or its contractors not be provided with free disposal of waste at Council Landfill facilities;**
- 2. Authorises the Chief Executive Officer to put a process in place to allow users of the Share and Care Service to utilise their 'tip passes' to enable Share and Care Authorised staff or contractors access to the Waste Disposal site.**

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15. NEW BUSINESS OF AN URGENT NATURE INTRODUCED BY DECISION OF MEETING

15.1. Elected Members

Nil.

15.2. Officers

Nil.

16. CONFIDENTIAL ITEMS

16.1 PREMIER'S AUSTRALIA DAY CITIZENSHIP AWARDS 2015

Comment:

- Clarification was sought around the method of voting. Staff advised that it is proposed to be undertaken by secret ballot however the process undertaken ultimately lies with Council.
- Questions were asked around the events being held within the localities of the Shire.

17. DECLARATION OF CLOSURE

There being no further business, the Shire President, Cr S B Pollard declared the meeting closed at 7.07pm.

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11.3 RECEIPT OF NOTES OF THE STRATEGIC COUNCIL MEETING

| RECOMMENDATION / COUNCIL DECISION |
|---|
| <p>Minute No: C.2598</p> <p>Moved: Cr Hughes Seconded: Cr Tinetti</p> <p>That the notes of the Strategic Council meeting held Wednesday, 25 November 2015 be received.</p> <p style="text-align: right;">CARRIED 10/0</p> |

12. ANNOUNCEMENTS BY THE PRESIDING OFFICER WITHOUT DISCUSSION

12.1 PRESIDENTS REPORT – ORDINARY COUNCIL MEETING - WEDNESDAY 16 DECEMBER 2015

| <u>Visitations and Consultations:</u> | |
|--|--|
| 19/11/15 | Nationals end of year cocktails event in Perth |
| 20/11/15 | WALGA Avon Midlands Zone meeting in Jurien Bay |
| 23/11/15 | Avonvale Primary School teaching mentoring event |
| 23/11/15 | Roadwise Christmas campaign photo opportunity |
| 24/11/15 | Curtin University Peri Urban modelling presentation in Perth |
| 25/11/15 | Shire quarterly strategic meeting |
| 26/11/15 | Community consultation meeting in Wundowie |
| 30/11/15 | Grass Valley Progress Association representatives meeting |
| 2/12/15 | WALGA State Council board induction in Perth |
| 2/12/15 | St. Josephs School end of year presentation night |
| 3/12/15 | ABC Regional Radio interview looking back at 2015 |
| 3/12/15 | Max Employment international day of people with a disability event |
| 4/12/15 | Northam Chamber of Commerce sundowner |
| 7/12/15 | AROC meeting in Toodyay |
| 9/12/15 | Wundowie Silver Wings Christmas dinner |
| 10/12/15 | West Northam Primary School presentation event |
| 11/12/15 | Crime prevention seminar |
| 12/12/15 | Christmas on Fitzgerald sale event and Christmas lights illumination |
| 12/12/15 | Wundowie Men's Shed Xmas event |
| 15/12/15 | Avonvale Primary School end of year presentation night |

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| 16/12/15 | Annual Electors meeting |
| <u>Upcoming Events</u> | |
| 18/12/15 | Goomalling Community Centre official opening |

Operational matters

Christmas on Fitzgerald

We are involved with this Christmas event along with the Chamber of Commerce and Women in Business groups. We will be launching the laser light show in the evening of the 12th December.

Strategic matters

City of Perth Act

The State Government has introduced this Act, primarily to adjust the boundaries of various local governments in the metropolitan area however a couple of late additions have been included into this Act.

The main additions are around Councillors declaring gifts and travel within 10 days of receipt rather than the previous annual declaration.

There is also a concern raised by local government that further alterations of boundaries to subsume more of adjacent local governments into the defined City of Perth is possible under the Act, which amounts to amalgamation by boundary adjustment and bypasses the “Dadour” process contained within the Local Government Act 1995.

Main Roads Amendment Bill 2015

A bill has been introduced into State Government to amend the Main Roads Act 1930 which may impact local government. Once the Bill becomes an Act, the Act gives the Minister, on recommendation from the Commissioner for Main Roads, power to direct a local government to undertake work on local roads that adjoin main roads. I cannot see any immediate concern with this however it may mean that where a local road intersects with a main road, upgrade work can be required to the local road.

WALGA State Council

At the last Avon Midland Zone meeting, I was elected Deputy State Councillor for the next 2 years. Darren Slyns, Deputy President Shire of Dandaragan is our State Councillor. I attended an induction this month to make me aware that WALGA is an incorporated association and has a board like group of Councillors. In my mind, it operates as a hybrid board with local government geographic influence rather than a purely skill set type board. There are 17 zones from which 12 metropolitan and 12 country Councillors are elected giving a board of 24.

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The association is conducting an internal governance review and we have submitted our comments on the review.

The subject of “Rate Capping”, where the State Government may restrict land rate revenue increases by local governments to a specified maximum, is causing angst amongst the sector. WALGA is working on the issue.

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13 REPORTS OF OFFICERS

13.1 ADMINISTRATION

Nil.

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13.2. DEVELOPMENT SERVICES

13.2.1 APPLICATION FOR RETROSPECTIVE DEVELOPMENT APPROVAL FOR A DIRT BIKE TRACK (RECREATION - PRIVATE) - LOT 6 GREAT SOUTHERN HIGHWAY, WOOTATTING

| | |
|--------------------|--|
| Name of Applicant: | WKC Spatial |
| Name of Owner: | Red Dog Nominees Pty Ltd |
| File Ref: | A1060/P2123 |
| Officer: | Chadd Hunt / Courtney Wynn |
| Officer Interest: | Nil |
| Policy: | <i>Local Planning Scheme No.6 Local Planning Policy 8 - Retrospective Planning Applications and Fees Planning & Development Act 2005 Planning Regulations 2015</i> |
| Voting: | Simple Majority |
| Date: | 25 November 2015 |

PURPOSE

Council is requested to consider an application for retrospective development approval for a dirt bike track at Lot 6 Great Southern Highway, Wootatting.

This application is being referred to Council for consideration as objections were received during the public consultation period.

BACKGROUND

The following table lists the key dates in regards to this application.

| Date | Item / Outcome |
|-----------------------------|---|
| July 2015 | The Shire received a complaint from a nearby land owner regarding the dirt biketrack. |
| July 2015 | Shire rangers conducted an inspection of the property and found unauthorised earthworks and earthmoving equipment on the site. |
| 20 th July 2015 | A letter was sent to the applicant advising the landowner that the earthworks has been carried out unauthorised and that a development application was required to be submitted within 21 days. |
| 3 rd August 2015 | The applicant contacted the Shire to request an extension of time so that he could engage a consultant to prepare an application. |

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| | |
|--------------------------------|---|
| 14 th August 2015 | Shire Officers met with the landowner and his consultant at the Shire offices to discuss the application. |
| 12 th October 2015 | The Shire received the development application. |
| 15 th October 2015 | The development application was referred to Main Roads Western Australia for comment. |
| 15 th October 2015 | The development application was referred to the Department of Water for comment. |
| 16 th October 2015 | An email was sent to the applicant requesting that further information be submitted. |
| 30 th October 2015 | The applicant submitted further information. |
| 3 rd November 2015 | The development application was referred to surrounding landowners located within 1.5km of the site. |
| 6 th November 2015 | Due to interest in the proposal the advertising period of the development application was extended and referred to additional surrounding landowners. |
| 23 rd November 2015 | The advertising period closed. |
| 27 th November 2015 | A report was prepared for Council. |

THE PROPOSAL

Lot 6 Great Southern Highway is one of a cluster of privately owned rural zoned lots surrounded by large tracts of land reserved for 'Public Purposes' being the State Forest and Wootatting Nature Reserve. The lot is also located within the Mundaring Weir Catchment Area and is managed for the Priority 2 (P2) water source protection.

The dirt bike track consists of 8 'jumps' constructed of earth mounds created from excess overburden material from the dam. The jumps range in height from 0.39m to 1.32m above natural ground level and connected by dirt trails as depicted on the site plan (refer to Appendix 1).

There is an existing shed located on the north-west portion of the site and a partially built dam located in the centre of the lot. The southern portion of the site is cleared of vegetation while an area of mature native vegetation exists on the northern portion of the lot. It is in the cleared area of the lot that the dirt bike track is proposed to be located so as to minimise the need to remove or damage native vegetation.

The applicant has advised that the track is for the proponent's private use. The proponent, Mr Wolfe currently works as a FIFO worker and attends to the site during his time back in Perth. Therefore, the use of the track will be restricted due to the work roster of the proponent and is proposed to operate up to 26 days a year on Saturdays and Sundays between 10am and 4pm.

STATUTORY REQUIREMENTS

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SHIRE OF NORTHAM LOCAL PLANNING SCHEME NO 6

Lot 6 Great Southern Highway, Wootatting is approximately 45 hectares in size and is zoned 'Rural' under Council's Local Planning Scheme No.6 (the Scheme).

Clause 4.2.8 of the Scheme identifies the following objectives for the Rural Zone:

- *To provide for horticulture, extensive and intensive agriculture, agroforestry, local services and industries, extractive industries and tourist uses which ensure conservation of landscape qualities in accordance with the capability of the land.*
- *To protect the potential of agricultural land for primary production and to preserve the landscape and character of the rural area.*
- *To control the fragmentation of broad-acre farming properties through the process of subdivision.*
- *To protect land from land degradation and further loss of biodiversity by:*
 - (i) *Minimising the clearing of remnant vegetation and encouraging the protection of existing remnant vegetation;*
 - (ii) *Encouraging the development of and the protection of corridors of native vegetation;*
 - (iii) *Encouraging the development of environmentally acceptable surface and sub-surface drainage works; and*
 - (iv) *Encouraging rehabilitation of salt affected land.*

The proponent requires development approval from the local government for the following reasons:

- The track involves the construction of earthwork mound 'jumps' that are greater than 0.5m above natural ground level (refer Clause 5.11 of the Scheme); and
- The use of the land for a dirt bike track is defined as 'Recreation – Private' under the Scheme and depicted with the symbol 'A'. This means that the use is not permitted unless the local government has exercised its discretion by granting planning approval after giving special notice in accordance with Clause 64 (3) of Schedule 2, Part 8 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

The Scheme defines the term 'Recreation – Private' as follows:

“Recreation - private means premises used for indoor and outdoor leisure, recreation or sport which are not usually open to the public without charge;”

Schedule 2 Part 9 Clause 67 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) specifies the planning matters to be considered by the local government when determining an application.

The following subsections under Clause 67 of the Regulations are deemed to be matters relevant to the proposal in front of Council:

“(a) the aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;

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- (d) *any environmental protection policy approved under the Environmental Protection Act 1986 section 31(d);*
- (m) *the compatibility of the development with its setting including the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;*
- (n) *the amenity of the locality including the following —*
 - (i) *environmental impacts of the development;*
 - (ii) *the character of the locality;*
 - (iii) *social impacts of the development;*
- (o) *the likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or the water resource;*
- (q) *the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire, soil erosion, land degradation or any other risk;*
- (r) *the suitability of the land for the development taking into account the possible risk to human health or safety;*
- (s) *the adequacy of —*
 - (i) *the proposed means of access to and egress from the site; and*
 - (ii) *arrangements for the loading, unloading, manoeuvring and parking of vehicles;*
- (t) *the amount of traffic likely to be generated by the development, particularly in relation to the capacity of the road system in the locality and the probable effect on traffic flow and safety;*
- (x) *the impact of the development on the community as a whole notwithstanding the impact of the development on particular individuals;*
- (y) *any submissions received on the application;*
- (za) *the comments or submissions received from any authority consulted under clause 66;*
- (zb) *any other planning consideration the local government considers appropriate.”*

Environmental Protection (Noise) Regulations 1997

Noise is governed by the *Environmental Protection (Noise) Regulations 1997* (the Noise Regulations) with enforcement provisions available to the local authority and police. Under the Noise Regulations, noise is deemed unreasonable if it exceeds a prescribed standard or if the noise unreasonably interferes with the health, welfare, convenience, comfort or amenity of the occupier making the complaint.

EPA Guidance Statement No.3

The Environmental Protection Authority (EPA) does not specifically list private dirt bike track activities as a sensitive land use. However the EPA does list raceways for motor vehicles under its *Separation Distances between Industrial and Sensitive Land Uses Guidelines* (2005) as a land use that may potentially affect nearby sensitive land uses (including residential dwellings). The Guidelines advise that separate buffers between

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raceways for motor vehicles should be considered by the local government on a case by case basis due to the potential for noise and dust impacts.

Department of Water

It should also be noted that the lot subject to this application is located within the Mundaring Weir Catchment Area and is managed for the Priority 2 (P2) source protection. Protection of public water supply sources is a high priority in these areas.

The application has been advertised to the Department of Water for comment. The Department of Water advises that they have no objection to the proposal.

PUBLIC CONSULTATION

The application was advertised for a period of 14 days in accordance with and Schedule 2 Part 8 Clause 64 (3) of the Regulations.

Officers gave notice of the application on 3rd November 2015 to adjoining landowners within 1.5km of the site which was later extended to other landowners in the area with the advertising period closing on 23rd November 2015. The application was also advertised on the Shire's website and was available for inspection at the Shire offices.

During the advertising period 7 public submissions were received in total which comprised of 6 objections and 1 non-objection. The application was also referred to the Department of Water for comment and Main Roads WA, who have advised that they have no objection to the proposal.

The submissions generally raised concerns in relation to the bushfire risk and noise impact. These issues have been summarised and are discussed in the attached Schedule of Submissions (refer Appendix 2) and the Officer's Comment section below.

CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN

The following objectives in the Shire's Strategic Community Plan has a bearing on this proposal:

- OBJECTIVE N2: Enhance the health and integrity of the natural environment.
- OBJECTIVE N3: Management and protection of water resources.
- OBJECTIVE C1.7: Provide an environment that enhances and builds on the liveability of the Shire.

BUDGET IMPLICATIONS

There are no direct financial / budgetary implications for the Shire of the recommendations of this report, however, it should be noted that the Shire may incur legal and State Administrative Tribunal fees in the event the applicant / landowner is aggrieved by this determination and elects to seek a review under Part 14 of the *Planning and Development Act 2005*.

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OFFICER'S COMMENT

There is seen to be 4 key issues impacting on the proposal in this specific location, namely:

- Impact on the amenity of the locality;
- Inconsistency with the objectives of the Rural zone as outlined in the Scheme;
- Potential for motorcycle activities to spark a bushfire and proximity to Woottating Nature Reserve;
- Excessive noise caused by the proponent's use of the track.

Each issue is discussed below, followed by a conclusion.

Impact on the amenity of the locality

Whilst it is acknowledged that the Department of Water does not believe that the proposal will impact upon the Water Catchment Supply area, the proposal is likely to cause other impacts upon the local environment not restricted to dust, noise and bushfire as well as the visual impact of the track and jumps when viewed from adjoining properties and the Great Southern Highway.

Inconsistency with the objectives of the Rural zone as outlined in the Scheme

One of the objectives for the Rural zone as outlined in the Scheme is to protect the potential of agricultural land for primary production and to preserve the landscape and character of the land. The applicant has stated in the application that the proponent does not reside at the property and is not currently undertaking any agricultural land uses on the property.

It is considered that the proposed private recreation use would if approved, become the primary or dominant land use on this lot. The proposed jumps would further encourage recreational motorcycle activities as the primary use for the property for on a regular basis. Furthermore, the proposed earth mound jumps are located in an area that is highly visible from the Great Southern Highway and are considered to detract from the landscape and character of the surrounding area.

Potential for motorcycle activities to spark a bushfire and proximity to Woottating Nature Reserve

Six of the submissions received cited concerns regarding the potential of the motorcycle activities to spark a bushfire. Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire as the track is located meters from State Forest Reserves located to the immediate west and south of the subject site.

The proponent does not reside at the property and the high visibility of the track also provides a temptation for members of the public to trespass and ride their motorbikes on the track which could be of high risk during peak bushfire season.

Excessive noise caused by the proponent's use of the track

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A common theme among the submissions received was concerns in relation to excessive noise caused by the proponent's use of the track. Land owners often choose to reside on rural properties for lifestyle reasons and have a reasonable expectation that they will enjoy a certain level of peace and tranquillity.

There are four residences located less than 1km from the proposed track. It is apparent that noise caused by the riding of motorbikes on this lot has resulted in an unacceptable impact upon the amenity of the area. There is a strong likelihood that the proposal will result in an increase in noise related complaints in the vicinity.

It is considered that applicant has failed to submit an acoustic assessment that demonstrates that the proposal will comply with the assigned noise levels under the Noise Regulations. Furthermore, it is unclear if the proponent's motorbike is fitted with a fully functioning muffler to suppress some of the noise generated.

Conclusion

Based on the above, the application is proposing a dirt bike track that is inconsistent with the intentions of the objectives of the rural zone. The applicant has failed to demonstrate that noise and bushfire impacts can be mitigated to a reasonable standard. It is considered that the proposed earthworks are inappropriate on this lot and would detract from the rural amenity and lifestyle due to the increased noise resulting from the dirt bike track.

The application has created substantial unrest in the local community due to the potential negative impact on the amenity and lifestyle of the area and concerns relating to bushfire risk.

Granting the applicant retrospective approval for the use of the dirt bike track would allow the continuation of the current lifestyle enjoyed by the proponent on Lot 6. However, due consideration is required to be given to preserve the amenity of the locality and protect the lifestyle and community expectation of adjoining landowners.

It should be noted that should the application for the earthwork jumps be refused, the proponent can still ride his motor bike on the property, provided that the noise generated by the activity does not exceed the noise limits under the *Environmental Protection (Noise) Regulations 1997* (the Noise Regulations).

It is therefore recommended Council refuse the development application for the reasons outlined in the Officer's Recommendation section of this report. Should Council resolve to approve this application, staff have prepared a list of recommended conditions which can be made available to Council upon request.

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2599

Moved: Cr Beresford

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Seconded: Cr Davidson

That Council, in respect of the application for development approval received by WKC Spatial on behalf of Mr Steve Wolfe of Red Dog Nominees Pty Ltd for a dirt bike track ('Recreation – Private') at Lot 6 Great Southern Highway (Chidlow – York Road), refuses to grant development approval for the following reasons:

- 1. The use is inconsistent with the orderly and proper planning of the locality.**
- 2. The proposal is inappropriate having regard to the objectives of the Rural Zone as outlined under Clause 4.2.8 of the *Shire of Northam Local Planning Scheme 6*.**
- 3. The use would be detrimental to the rural amenity of the area by reasons of -**
 - (a) its incompatibility with the rural character of the locality;**
 - (b) its incompatibility with the aesthetic importance of the scenic landscape and the potential to detrimentally change the scenic rural character of the locality;**
 - (c) the unacceptable risk for bushfire associated with the use of the land for a dirt bike track; and**
 - (d) the use's incompatibility with adjacent and nearby rural and other uses.**

CARRIED 10/0

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ATTACHMENT 1



INFORMATION FOR PLANNING APPLICATION

LAND USE

Lot 6 Great Southern Highway (Chittering – York Road)
Woottating
October 2015

WKC Spatial Reference: 11848

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Figures

Figure 1 – Locality Plan

Figure 2 – Zoning Plan

Figure 3 – Site Plan

Figure 4 – Photos 1-7

Figure 5 – Certificate of Title

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1. Information

The owner of Lot 6 Great Southern Highway, Woottating has engaged WKC Spatial to act on their behalf. This report has been prepared to support an application submitted to the Shire of Northam for the proposed land use of a personal use dirt bike track.

Our client received a letter from the Shire of Northam to advise that earthworks that alter the ground level by more than 0.5m requires planning approval. A dirt bike track is existing on the land with jumps which are more than 0.5m high.

The following matters have been identified throughout this report:

- Location and description of the site and existing land use,
- Detailed report of the proposed land use,
- Justification of the land use,
- Relevant Management Plans.

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2. Site Description

2.1 Location

The site is located within the Municipality of the Shire of Northam. Situated in Inkpen, the lot is bounded by the Great Southern Highway to the south and existing rural land to the north, east and west. State Forest partially bounds the western boundary and the southern boundary of the Great Southern Highway.

Figure 1 – Locality Plan

2.2 Cadastral Information

The subject site is known as Lot 6 Great Southern Highway, Woottating more fully described as Lot 6 on Plan 2190 contained within Certificate of Title Volume 1950 Folio 761. The lot has a total area of 45.06 hectares. Registered owner is Red Dog Nominees Pty Ltd and the representative, Steve Wolfe. A 10m wide Access Easement is located along the eastern boundary of the site, benefitting the owners of Lot 7, 1625 Great Southern Highway, Woottating.

Figure 2 – Zoning Plan

2.3 Existing Features

The existing site currently contains an existing shed to the north west of the site and a spring fed, partially built dam located more central: See Photo 1. Vegetation is scattered over the site. Current vegetation is clearly evident from the site plan and aerial imagery underlying. It comprises mostly sparse mature trees in the southern half, with thicker scrub and mature trees to the north.

The property is crossed by a wide drainage flat traversing from west to east. The land slopes gently from road frontage to the drainage flat then moderately rising from the flat to the rear boundary.

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3. Description of Proposal

The subject site is currently in ownership of Red Dog Nominees and has been used for private use by the Wolfe family. An area of the site, located centrally was developed to create a dirt bike track for the use of the Wolfe family, in particular Mr Steve Wolfe. Mr Wolfe is a keen dirt bike rider and therefore wanted to continue his passion for the sport by creating a circuit for his personal use.

Figure 3 provides a schematic view of the property and its improvements and land use. Photos are included to provide the viewer a better understanding of the recreational dirt bike track. The location of the photos is discernible from Figure 3. Earthworks to build the jumps and bends are generally minor, with heights generally less than a metre.

Each of these jumps have been created using existing material available from the site most of which was overburden from the dam. No vegetation has been removed or damaged on site. The location of the track was designed to negate any bushfire risk.

The track will not be for public use and the hours of operation will be limited to lessen the impact on neighbouring rural properties and to comply with noise regulations. Mr Wolfe currently works as a fly in fly out on a roster of 3 weeks on and 3 weeks off. He attends to the site during his time back in Perth. The periods of use will be restricted due to the working pattern of the owner, during daylight hours.

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4. Town planning considerations

4.1 Zoning of the land

Shire of Northam Local Planning Scheme No.6

Under the Shire of Northam Local Planning Scheme No.6 the site is zoned 'Rural'. The requirements of this zone are as follows:

Rural Zone

To provide for horticulture, extensive and intensive agriculture, agroforestry, local services and industries, extractive industries and tourist uses which ensure conservation of landscape qualities in accordance with the capability of the land.

To protect the potential of agricultural land for primary production and to preserve the landscape and character of the rural area.

To control the fragmentation of broad-acre farming properties through the process of subdivision.

To protect land from land degradation and further loss of biodiversity by:

- (i) Minimising the clearing of remnant vegetation and encouraging the protection of existing remnant vegetation;
- (ii) Encouraging the development of and the protection of corridors of native vegetation;
- (iii) Encouraging the development of environmentally acceptable surface and sub-surface drainage works; and
- (iv) Encouraging rehabilitation of salt affected land.

The current use of the site is rural grazing and 'Recreation – Private' which is identified as follows:

Recreation Private: *Premises used for outdoor or indoor leisure, recreation or sport which are not usually open to public without charge.*

This Class A land use is required to be advertised to the public under Table 1: Zoning Table of the Local Planning Scheme 6.

4.2 Compliance of the land use with Rural Zoning requirements

The proposed land use complies with the requirements of Rural zoning in the following ways:

- The use of the track is for private use only and will not be opened for public use at any time.

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- There will be no clearing of vegetation. The track has been designed in harmony with current vegetation on site.
- The land use does not involve subdivision of the land or fragmentation of broad acre farming. The landowner's intentions are to retain the existing property in its current size and shape, necessary to enjoy his chosen recreational activity and to allow grazing by stock.
- The use allows continuation of rural pursuits on the subject lot and adjoining properties. Eg: cattle grazing and other livestock. Significant land is available on site to enable stock to graze undisturbed by the recreational pursuit.

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5. Management Plans

5.1 Noise Management Plan

Noise management will be controlled in the following ways:

- Restricted use times to comply with noise regulations within the area and prevent unreasonable disturbances.
- The lot owners current work roster restricts the days in which the track will be in use.
- The track is located 500 meters from the nearest neighbouring residential dwelling and will have no major impact when in operation. There is significant vegetation between the location of the dirt bike track and the neighbouring residential dwelling to act as a sound barrier when the track is in use.
- The lot is bounded by the Great Southern Highway which is a main transport corridor currently generating noise from road vehicles. When the track is in use, the bikes will not generate any more noise than the traffic passing by.
- Forest to the south and west are commonly used by trail bike riders for recreation. Numbers here generate significantly greater noise than the private track.

5.2 Dust Management Plan

Dust management will be controlled in the following ways:

- The frequency of the use of the track will not generate an extensive amount of dust that will have any impact on the surrounding area.
- Access to the lot is via an existing driveway on the western boundary which will be used by all vehicles.
- One bike will be in operation at a time.
- Sandy soils are predominant, airborne particles will quickly fall to ground.

5.3 Waste Management Plan

Waste Management will be controlled in the following ways:

- As the use of the site is private, no significant waste will be generated that will have any concern.
- All waste will be disposed of in an appropriate manner
- The Shire of Northam provide Waste Management facilities which the lot owner will avail of. The nearest facility is located at Inkpen Waste Management Facility which is in close proximity to the subject site.
- No waste will be burned or buried on site.
- Any refuelling or oil changing will be carried out in the shed with temporary bunding traps in place to ensure spills are contained.

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6. Conclusion

This report supports an application for the approval of a dirt bike track in use at Lot 6 Great Southern Highway, Woottating. The use class of the land is 'Recreation – Private' under the Shire of Northam Local Planning Scheme No.6 and is zoned Rural.

The track complies with the objectives outlined in the LPS6 for the Rural zone and satisfies all relevant town planning considerations. The use does not have unreasonable impact on the surrounding properties nor does it significantly impact the local environment. The track is partially visible from the Great Southern Highway and results in no visual disturbance.

The sole purpose of this bike track is for the enjoyment of an existing hobby in an area where there are no major concerns. Therefore, we request that the Shire of Northam, following assessment, provide approval for this application based on the information provided.

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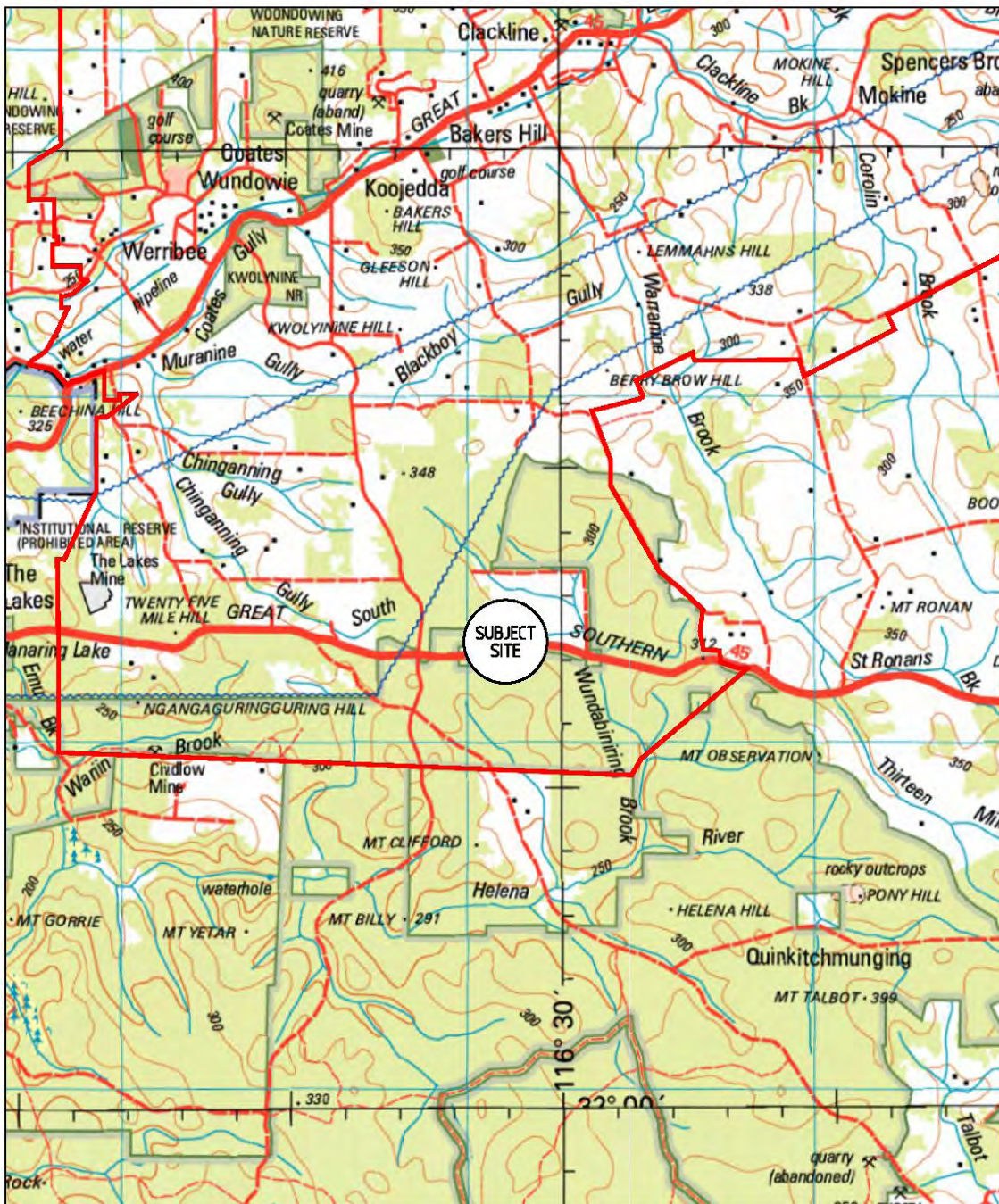
FIGURES




Lot 6 Great Southern Highway (Chittering – York Road)
Woottating

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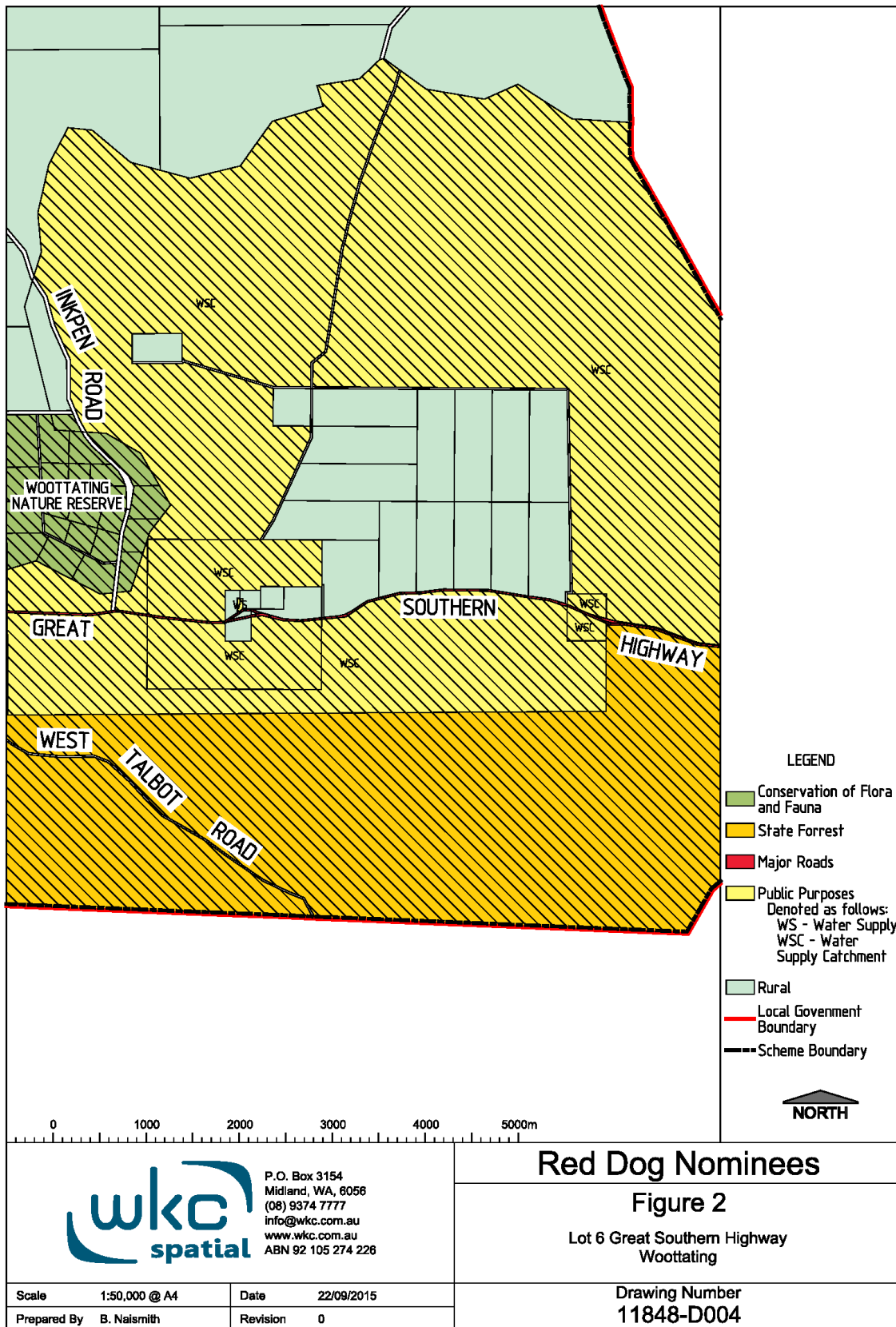
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|  | |  |
|  | | Red Dog Nominees Figure 1 Lot 6 Great Southern Highway Woottating |
| P.O. Box 3154 Midland, WA, 6056 (08) 9374 7777 info@wko.com.au www.wko.com.au ABN 92 105 274 226 | | Drawing Number 11848-D003 |
| Scale 1:150,000 @ A4 | Date 22/09/2015 | |
| Prepared By B. NalSmith | Revision 0 | |

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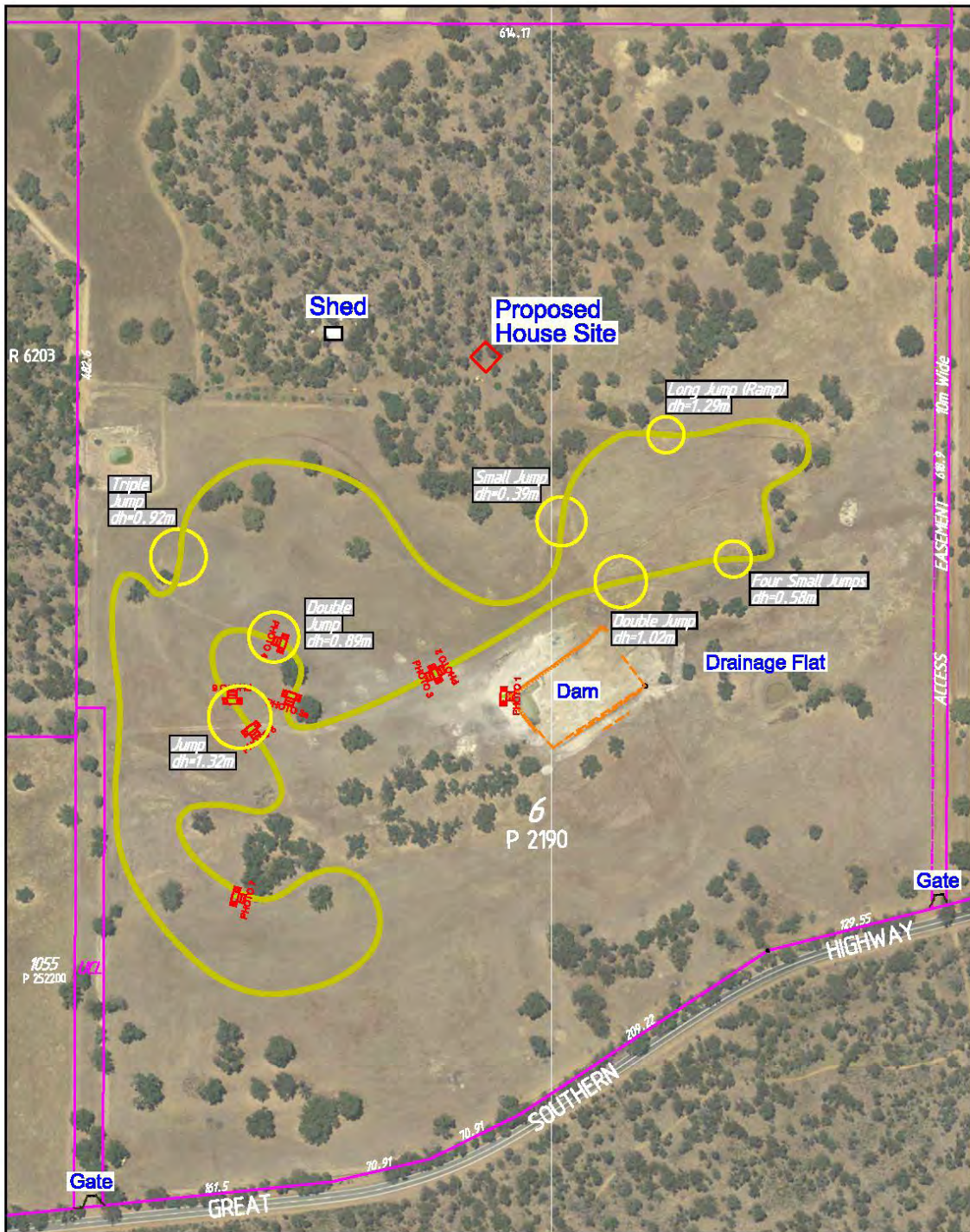
SHIRE OF NORTHAM


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|  P.O. Box 3154 Midland, WA, 8056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226 | | Red Dog Nominees | |
| | | Figure 3 Lot 6 on P 2190 Great Southern Highway, Woodtating Top of Jumps - Heights from Natural Surface | |
| Scale | Date | Drawing Number | |
| Prepared By B. Naismith | 21/08/15 | 11848-D002 | |
| | Revision | | |
| | A | | |

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|  <p style="font-size: small;">P.O. Box 3154 Midland, WA, 6056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226</p> | | Red Dog Nominees | |
| | | Photo 1 Lot 6 Great Southern Highway Woottating | |
| Scale | N/A | Date | 22/09/2015 |
| Prepared By | B. NalSmith | Revision | 0 |
| | | Drawing Number 11848-D005 | |

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|  | | P.O. Box 3154 Midland, WA, 6056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226 | | Red Dog Nominees Photo 2 Lot 6 Great Southern Highway Woottating | |
| | | Scale N/A | Date 22/09/2015 | Drawing Number 11848-D006 | |
| Prepared By B. NalSmith | | Revision 0 | | | |

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| | | Photo 3 Lot 6 Great Southern Highway Woottating | |
| Scale | N/A | Date | 22/09/2015 |
| Prepared By | B. NalSmith | Revision | 0 |
| | | Drawing Number 11848-D007 | |

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|  <p style="font-size: small;">P.O. Box 3154 Midland, WA, 6056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226</p> | | Red Dog Nominees | |
| | | Photo 4 Lot 6 Great Southern Highway Woottating | |
| Scale | N/A | Date | 22/09/2015 |
| Prepared By | B. NalSmith | Revision | 0 |
| | | Drawing Number 11848-D008 | |

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|  | | P.O. Box 3154 Midland, WA, 6056 (08) 8374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226 | | Red Dog Nominees Photo 5 Lot 6 Great Southern Highway Woottating | |
| | | Scale N/A | Date 22/09/2015 | Drawing Number 11848-D009 | |
| Prepared By B. NalSmith | | Revision 0 | | | |

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|  | | P.O. Box 3154 Midland, WA, 6056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226 | | Red Dog Nominees | |
| | | | | Photo 6 Lot 6 Great Southern Highway Woottating | |
| Scale | N/A | Date | 22/09/2015 | Drawing Number 11848-D010 | |
| Prepared By | B. NalSmith | Revision | 0 | | |

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COUNCIL MEETING HELD ON 16 DECEMBER 2015



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|  | | P.O. Box 3154 Midland, WA, 6056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226 | | Red Dog Nominees Photo 7 Lot 6 Great Southern Highway Woottating | | | |
| | | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Scale N/A</td> <td style="width: 50%;">Date 22/09/2015</td> </tr> <tr> <td>Prepared By B. NalSmith</td> <td>Revision 0</td> </tr> </table> | | Scale N/A | Date 22/09/2015 | Prepared By B. NalSmith | Revision 0 |
| Scale N/A | Date 22/09/2015 | | | | | | |
| Prepared By B. NalSmith | Revision 0 | | | | | | |

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WESTERN



AUSTRALIA

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

| | |
|-----------------------------------|---|
| REGISTER NUMBER 6/P2190 | |
| DUPLICATE EDITION 2 | DATE DUPLICATE ISSUED 22/2/2011 |

VOLUME **1950** FOLIO **761**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.


REGISTRAR OF TITLES 

LAND DESCRIPTION:

LOT 6 ON PLAN 2190

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

RED DOG NOMINEES PTY LTD OF 9 ADELAIDE CRESCENT HELENA VALLEY
(T L554028) REGISTERED 15 FEBRUARY 2011

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

1. THE LAND THE SUBJECT OF THIS CERTIFICATE OF TITLE EXCLUDES ALL PORTIONS OF THE LOT DESCRIBED ABOVE EXCEPT THAT PORTION SHOWN IN THE SKETCH OF THE SUPERSEDED PAPER VERSION OF THIS TITLE, VOL 1950 FOL 761.
2. F230867 EASEMENT BURDEN SEE SKETCH ON VOL 1950 FOL 761, REGISTERED 28.6.1993.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1950-761 (6/P2190).
PREVIOUS TITLE: 1404-628.
PROPERTY STREET ADDRESS: NO STREET ADDRESS INFORMATION AVAILABLE.
LOCAL GOVERNMENT AREA: SHIRE OF NORTHAM.

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

ORIGINAL—NOT TO BE REMOVED FROM OFFICE OF TITLES

LT. 37

Application F87079
 Volume 1404 Folio 628

WESTERN



AUSTRALIA

REGISTER BOOK
 VOL. FOL.

CT 1950 761

CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

Dated 15th January, 1993

D. Mulcahy
 REGISTRAR OF TITLES



PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

Superseded - Copy for Sketch Only

Page 1 (of 2 pages) 1950 761
 VOL. FOL.

ESTATE AND LAND REFERRED TO

Estate in fee simple in portion of Avon Location 1881 and being part of Lot 6 on Plan 2190, delineated on the map in the Third Schedule hereto.

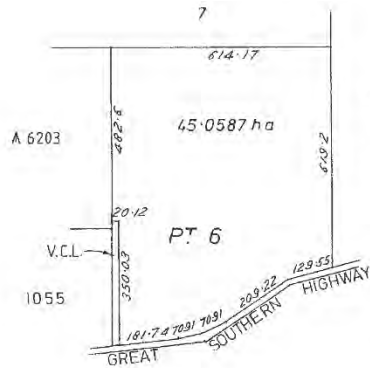
FIRST SCHEDULE (continued overleaf)

Boyce Eric Donegan of Lot 26 Princess Road, Mount Helena.

SECOND SCHEDULE (continued overleaf)

NIL

THIRD SCHEDULE



Scale 1:1250
 (25) (10)

NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

E87590/3/89-20M-L/4664

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Page 2 (of 2 pages)

FIRST SCHEDULE (continued) NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS

| INSTRUMENT NUMBER | REGISTERED PROPRIETOR | INSTRUMENT NUMBER | REGISTERED TIME | SEAL | CERT. OFFICER |
|---|-----------------------|-------------------|-----------------|------|---------------|
| <p style="font-size: 2em; opacity: 0.5; transform: rotate(-90deg);">Superseded - Copy for Sketch Only</p> | | | | | |

SECOND SCHEDULE (continued) NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS

| INSTRUMENT NUMBER | PARTICULARS | REGISTERED | TIME | SEAL | CERT. OFFICER |
|---------------------|---|------------|-------|---|---|
| Transfer F230867 |  <p>A right of carriageway over the portion of the within land marked 'A' on the map in the margin as set out in the said Transfer is granted to the proprietor or proprietors for the time being of Lot 7 on Plan Z190.</p> | 28.6.93 | 12.22 |  |  |

CERTIFICATE OF TITLE VOL1950 FOL761

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ATTACHMENT 2



**ADDITIONAL INFORMATION FOR PLANNING
APPLICATION**

**CLASS A LAND USE
PRIVATE RECREATION**

Lot 6 Great Southern Highway (Chittering – York Road)
Woottating

October 2015

WKC Spatial Reference: 11848

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2. Bushfire Risk..... 3

3. EPA Separation between Industrial & Sensitive Land Uses Guidelines 4

4. Conclusion..... 4

Figures

- Figure 3 – Site Plan: Track Setback distances
- Figure 4 – Structures within 1km Buffer Zone

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1. Operational times

The applicant, Mr Steve Wolfe, advises his private recreation bike track is proposed to be used on Saturdays only. Hours of use will be restricted to between 10am and 4pm. Within this timeframe, Steve will be having a 30 minute break every two hours.

The applicant is employed FIFO, currently working a roster of 3 weeks on and 3 weeks off. Therefore, with this roster, the track will not be used often. It will be used only 26 days a year, quite seldom for a private recreational use. Additionally, the hours of operation will limit total use to just 5 hours for each of those 26 days. The track will not be in use early morning, late afternoon or night time, reducing the possibility of disturbances to surrounding residential dwellings.

2. Bushfire Risk

Mr Wolfe has advised that on site there is a suitable water supply should a bushfire arise. There are two firefighting units available for use should they be required. 800l and 400l units are maintained regularly and on standby on site. As there is a dam located on site, water is also able to be sourced from this area if required. Mr Wolfe is enquiring about keeping livestock on the land to reduce the grass growth. The use of livestock on the land will help to reduce fuel and potential fire hazard.

The applicant is aware there will be days in which a total fire ban will be in place and has advised he will not be using the track on these days due to the unacceptable risk. There are perimeter boundary firebreaks in place on the site to isolate any outbreaks from within. Figure 3 shows the setback distances from the lot boundaries to bike track critical points.

Vegetation is scattered over the middle to southern part of the site where the private recreational use is proposed. The applicant will maintain the site, keeping it clean and tidy. He will take all reasonable measures to minimise the risk of any fire outbreak and to negate or contain it within his property in the unlikely event of fire occurring.

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3. EPA Separation between Industrial & Sensitive Land Uses Guidelines

Our initial report submission, Section 5 covers Noise Management concerns in relation to location of the bike track in proximity to surrounding dwellings. In this addendum, Figure 4 shows the position of surrounding dwellings within a 1km radius. There are four residential dwellings within this radius, the closest being about 370m from the track. There is significant vegetation between the track and this residential dwelling, acting as a sound barrier. Topography further reduces any noise impact, that particular house sited on a north easterly facing down slope, the track at the bottom of a southerly slope. The other residential dwellings in the area are located more than 500m from the track. We feel this is a satisfactory distance and will prevent any disturbance.

Under the EPA Separation between Industrial & Sensitive Land Use Guidelines, the Shire of Northam suggests this particular land use as included under "raceways for motor vehicles". Raceways for motor vehicles are described as "speedways and drag strips" under the EPA Guidelines. Each land use is assessed on a case by case basis with noise and dust impact being the main areas of concern. The use of the site under application is 'Recreation – Private', allowing personal recreation which is not open to the public. The applicant has created the track for personal use which does not fall under the classification of speedways or drag strips. Therefore we feel assessment under these guidelines is not applicable to this application. It is noted the guidelines do not provide a buffer distance for this use.

4. Conclusion

This additional information further supports the approval of a dirt bike track for private use at Lot 6 Great Southern Highway, Woottating. The track complies with the objectives of the Local Planning Scheme and does not create any unreasonable impact to surrounding residential dwellings or the rural neighbourhood by way of excessive noise or fire hazard.

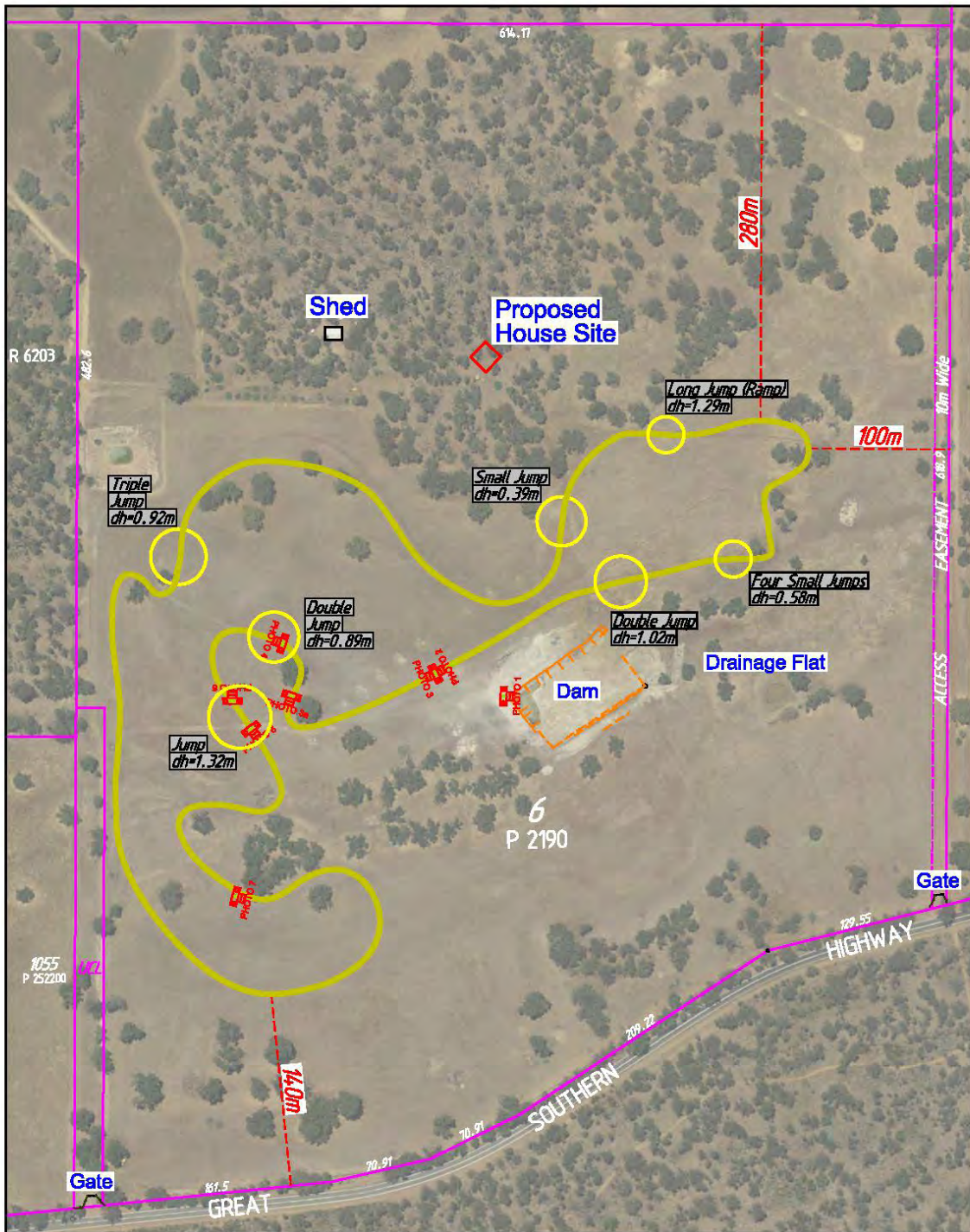
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FIGURES

Lot 6 Great Southern Highway (Chittering – York Road)
Woottating

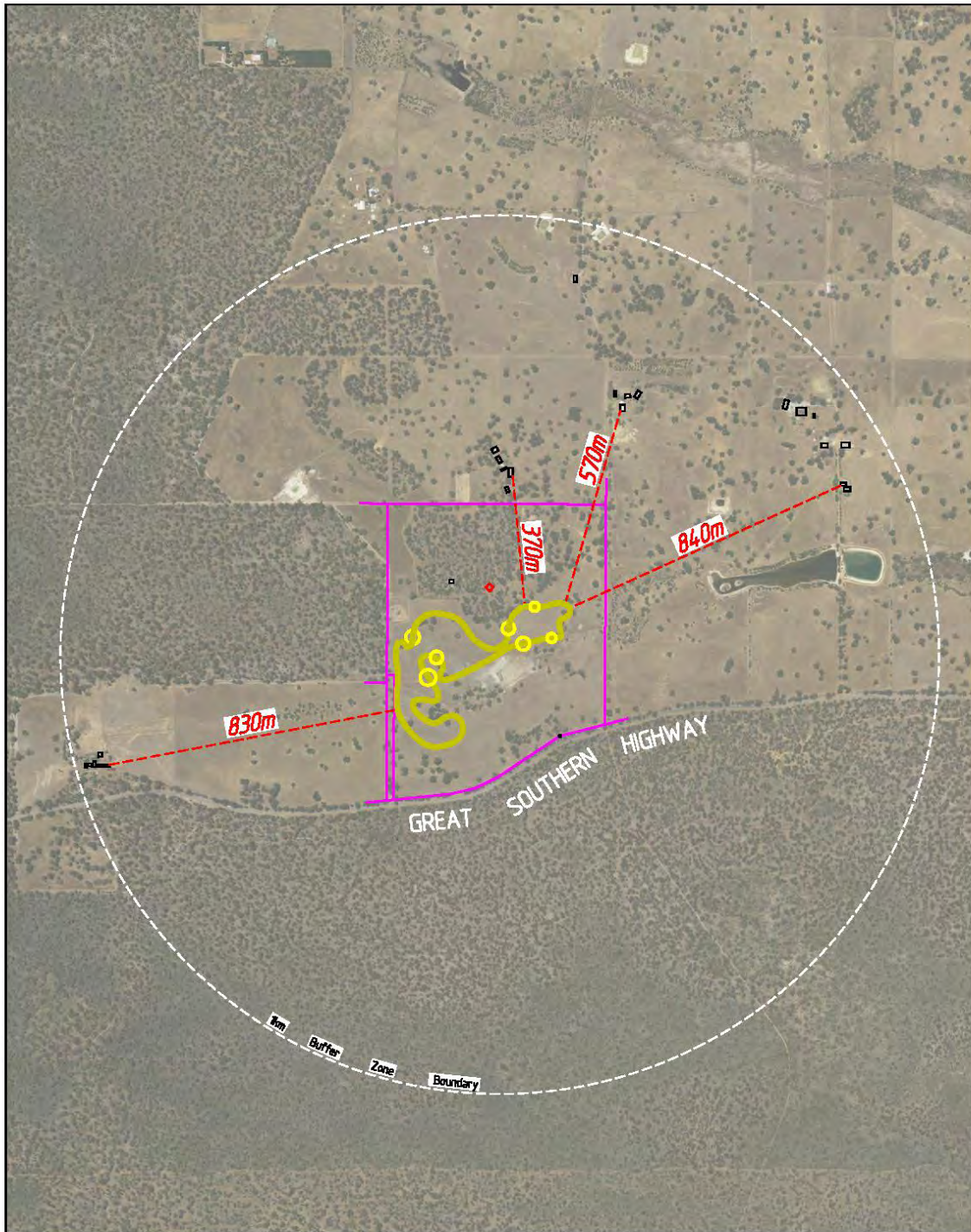
SHIRE OF NORTHAM
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| | | |
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| <div style="display: inline-block; vertical-align: middle; margin-left: 10px;"> <p>P.O. Box 3154 Midland, WA, 8056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226</p> </div> | | <p>Red Dog Nominees</p> |
| | | <p>Figure 3 Lot 6 on P 2190 Great Southern Highway, Woodtating Top of Jumps - Heights from Natural Surface</p> |
| Scale 1:3500 Approx. | Date 30/10/15 | Drawing Number |
| Prepared By B. Naismith | Revision B | 11848-D002 |

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|  P.O. Box 3154 Midland, WA, 8056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226 | | Red Dog Nominees | |
| | | Figure 4 Lot 6 on P 2190 Great Southern Highway, Woottatting Structures within 1 km Buffer Zone | |
| Scale | 1:14000 Approx. | Date | 30/10/15 |
| Prepared By | B. Naismith | Revision | B |
| | | Drawing Number 11848-D012 | |

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Shire of Northam Local Planning Scheme No.6

Proposed Change of Use - Private Recreation (Motorcycle Track) - Lot 6 Great Southern Highway, Wootatting
Schedule of Submissions

| Number | Name | Summary of Submission | Key Themes Identified in Submission | Applicants Response | Officers Comment |
|--------|---|--|-------------------------------------|---|---|
| 1 | Sim & Alison Kuiper 510 Chinganning Road, Copley | We are property owners in the district and Sim is captain of the local volunteer bushfire brigade. We are concerned about the proposed dirt bike track on Lot 6 as the fire risk with very high flammable fuel loads ie. tall wild oats growing less than 1 metre from the track <u>and</u> high revving motors is an inferno waiting to happen. Our volunteers don't need this! | Bushfire Risk | Fire risk negated or minimised by not using activity on days of high fire danger or unacceptable risk. Grasses will be kept low by livestock and ensured low prior to participating in the private recreational use. Hand and mechanical clearing methods will also be utilised, such as raking and mowing. Sufficient water to be available for fire fighting purposes at all times. | The submission is noted. Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application. |
| 2 | Soren Neilson from the Inkpen Bushfire Brigade | Increased Fire Risk, Noise and Property Devaluation. Fire risk from bikes crashing off motor cross tracks into grass. I can hear them from my place and it must be terrible for residents closer. Does the Shire have any way to enforce the private use - one bike only if it is approved? | Bushfire Risk, Noise | Fire risk commentary in 1 above. Submitter does not include address to properly assess noise impact on own residence. Applicant has stated | The submission is noted. The proponent is bound to comply with the <i>Environmental (Noise) Protection Regulations 1997</i> . Officers have noted |

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| | | | | when and how private recreation activity will be used in submitted report. Applicant stands by such submission. | these concerns regarding noise impacts and have concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application. Section 10.2 of LPS6 details matters to be considered by the Local Government when assessing an application and making a determination, impact on property value is not a detailed consideration, therefore, cannot contribute to making a determination on this application. |
| 3 | Relaine Pty Ltd Lot 11 Wundabiniring Road, Wootatting | Noise, devaluation of property, fire risk, allows for more noise once permit granted. Creates more motorbikes into the water catchment area. At the moment the young person requesting permission has already built a track and altered the Wundabinring Brook without permission. Can you | Bushfire Risk, Noise, Environmental Impact | Fire risk commentary in 1 above. Noise impact on resident not explained but Wundabiniring Road closest point to subject site is 2.0km as the crow flies. Submitter suggests | The submission is noted. The proponent is bound to comply with the <i>Environmental (Noise) Protection Regulations 1997</i> . Officers have noted these concerns regarding |

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| | | <p>imagine what this would turn out to be if granted. No Thanks!</p> | | <p>approval will allow more noise but does not stipulate what background noises already impact or how such will be increased. Submitted report advises use times as stated in 2 above. Motor bikes in use on other properties or forest in area are not the subject of this application but are relevant by the typical background noises already existing.</p> | <p>noise impacts and have concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application.</p> <p>Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire.</p> <p>The Department of Water has advised that they have no objection to the proposal.</p> |
| 4 | <p>TW & GJ Harrison Lot 7 Great Southern Hwy, Wootatting</p> | <p>Town Planning and Topographic Consideration The proposal does not meet some of the requirements for sites zoned “Rural” in the SON Local Planning Scheme 6 as listed on the application. The dirt bike track does nothing to “ensure conservation qualities in accordance with the capability of the land”. It visually spoils the landscape and a major part of it is clearly seen from the Great Southern Hwy.</p> | <p>Intentions of the zoning, Noise, Bushfire.</p> | <p>This application is to allow the private recreational additional use of property primarily used for farming and as a family residence.</p> | <p>The submission is noted.</p> <p>The Shire does not have any approvals on record for a ‘residence’ on Lot 6 Great Southern Highway. It is considered that the proposed dirt track is the</p> |

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| | | <p>According to the application, the Planning Scheme also aims "to protect the land from land degradation" The western end of the track runs directly down the slope and wheel tracks are already evident. There is significant potential for water erosion to occur down this portion of the track. This is also a consideration on parts of the northern portion of the track where it runs more diagonally up the slope. Additionally the wide drainage flat referred to in the application is actually the source of Wundabiniring Brook which runs east through adjacent farm land into the Water Catchment. Both water quality and flow could be compromised by the track which is totally unacceptable given declining run off into the catchment area.</p> <p>Noise issues</p> <p>Noise regulation is covered by the <i>Environmental Protection Act 1986</i> (the "EP Act") and regulations made under the EP Act such as the <i>Environmental Protection (Noise) Regulations 1997 (WA)</i> (the "Noise Regulations"). According to the EP Act, noise is defined as unreasonable if:</p> <ul style="list-style-type: none"> • It is emitted in contravention of the EP Act; or any subsidiary legislation made under the EP Act; or any requirement or permission made or given under the EP Act (s.3(3)(a)) or • Having regard to the nature and duration of the noise emissions, the frequency of similar noise emissions from the same source and the time of day at which the noise is emitted, the noise unreasonably interferes with the health, | <p>The track constructed by the applicant has been designed to generally follow the contours and avoid vegetation as far as possible. It is used in a mostly clockwise direction around the north to south moderate downward slope and across the wide drainage flat.</p> <p>The DoW advise no objection to the proposed land use.</p> | <p>primary land use of the lot and is inconsistent with the intentions of the rural zoning and is one of the reasons for Officers recommending refusal of this application.</p> <p>The Department of Water has advised that they have no objection to the proposal.</p> <p>Officers have noted these concerns regarding noise impacts and have</p> |
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| | | <p>welfare, convenience, comfort or amenity of any person (s.3(3)(b)) or</p> <ul style="list-style-type: none"> It is prescribed to be unreasonable by the Noise Regulations (s.3(3)(c)). <p>The Noise Regulations make specific reference to rural premises in regulation 12. The term “rural premises” refers to premises used primarily for pastoral or agricultural purposes on land classified or zoned agricultural or rural use, or for rural lifestyle living, under a planning scheme as defined in <i>Planning and Development Act 2005</i> section 4(1) (r2(1)). As previously stated, Lot 6 Great Southern Hwy is zoned rural making it subject to this section of the Noise Regulations. Regulation 7 assigns levels of noise permissible in certain circumstances and emissions exceeding the assigned level are deemed unreasonable and an offence under the EA Act. Regulation 7 does not apply to noise emitted from a farming vehicle on rural premises at any time between sunrise and sunset if the farming vehicle complies with sub-regulation(5), namely that its noise reduction system has been maintained to a reasonable standard (r12(3),r12(5)). A dirt bike used for recreational purposes does not fit the definition of a farming vehicle namely a motor vehicle which is used for, or in association with, soil preparation and cultivation, land drainage and water management, crop seeding and planting, crop spraying and fertilisation, pest management, produce harvesting or stock management (r12(1)). Compliance with regulation 7 is, therefore, applicable. Mr Wolfe should demonstrate by undertaking compliant measuring</p> | <p>Applicant has stated when and how private recreation activity will be used in submitted report. Applicant stands by such submission. Background noise sources have been stated in the submitted report, including highway noise and trail bike riders in surrounding forests. Topography and vegetation assists in suppression of noise generated.</p> | <p>concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application.</p> |
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| | <p>activities that noise emissions will never exceed the assigned level to become “unreasonable” and thus an offence under the EP Act.</p> <p>Section 3(3)(b) of the EP Act is of particular significance to the residents of neighbouring dwellings with loss of amenity to figuring highly. Mr Wolfe’s previous use of the track has already affected this. The application makes reference to Mr Wolfe’s continuing “enjoyment”, but does not adequately address how it has not already had, or will fail to have, a negative impact on neighbouring residences. More specifically:</p> <ul style="list-style-type: none">• Topography and distance of dwellings from the dirt bike track has not prevented disturbance being caused to residents when the track has been used in the past and residents up to 2km distance have reported hearing persistent noise.• According to the application, the amount of days the dirt bike track will be used is currently restricted by Mr Wolfe’s working roster. Should his situation change there is no guarantee that Mr Wolfe’s use would be restricted to 26 days per year.• It is proposed that 6 hours of continuous noise would only be broken by two half hour breaks. Exposure to this concentrated duration of motorbike noise is particularly taxing and a significant disturbance for the major part of the day.• The “Recreation – Private” classification means the venue is not open to the public, | | | |
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| | | <p>but Mr Wolfe can permit any number of people onto his property at a time to use his dirt bike track. Whilst he states only one bike would be using the track at a time, there is nothing to enforce this plus the potential for additional noise from bikes not actually using the track and vehicles entering the property.</p> <ul style="list-style-type: none"> • Noise from Great Southern Hwy is intermittent and not invasive by nature unlike the constant noise coming from the dirt bike track. • Reference is made to trail bike riders using the forest areas to the south and west which is Water Catchment. They do so in contravention of the regulations covering this area and the noise they generate is of concern to residents. This cannot be used, however, to support the case for the dirt bike track which will only add to the problem. Additionally the trail bike riders tend to move quickly through the area so noise is not persistent. <p>Bushfire Risk The bushfire risk posed by the dirt bike track is both real and unacceptable for the following reasons:</p> <ul style="list-style-type: none"> • The property has not been grazed for the majority of the year and fuel loads are high. Whilst it is stated “the location of the track was designed to negate any bushfire risk”, it has dried grasses growing right up to the perimeters of the track which is approx. 2 meters wide. In places the track is bounded by dried wild oats up to a meter high. | | <p>Fire risk commentary in 1 above.</p> <p>The use is not currently active and fuel loads will be minimised prior to commencement.</p> | <p>Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application.</p> |
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| | | <ul style="list-style-type: none"> • Firebreaks do not comply with the requirement that they be clear of all flammable material. They were not sprayed earlier and vegetation was heavy when they were installed causing retention of flammable material. • The application states “There are perimeter boundary firebreaks in place on site to isolate any outbreaks from within”. Noting the point above, firebreaks do not guarantee a fire will be contained within the break. There major function is for back burning for fire control. • Should a fire escape to the State Forest areas referred to in the application there is the potential for massive damage to this area and a subsequent impact on water quality of run off from the Water Catchment area. • It is questionable how adequate the available water is for fire fighting purposes as it is from two dams, one of which, as stated in the application, is partially built. Water availability and accessibility is further reduced through the hot months through evaporation. • There does not appear to be any pump or other means available to transfer water from the dams into a fire fighting unit. • There is not firebreak on the boundary between Lot 6 and 7, on the Lot 6 side for a distance of about 350 metres. <p>Mr Wolfe clearly needs to demonstrate much improved fire management practices in the future to address the present issues.</p> | | <p>Additional to the dams referred to in the submitted report, the applicant advises he currently has a solar-pump on order to pump water when needed from a bore already in place.</p> | |
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| | | <p>Background Please bear in mind that we are one of the few permanent residents here, many of the land owners in the area use their property as a weekender or an investment. Glenda has retired from work and is at home most of the time.</p> <p>The impact of the proposal should it be allowed would for us, be massive.</p> <p>Noise The noise from Mr Wolfes' bikes is for us is overwhelming as we sit in our house 370 metres from the track. The bikes that he rides are dedicated Motor Cross racing bikes, they have a very high pitched sound which according to neighbours some 2-4 km away disturbs them as well.</p> <p>I am told that these bikes have a modified exhaust system and run at very high revs which we can hear all too clearly. The first occasion we heard then, Steve Wolfe and friend/s rode for 6 and a half hours on the first day and longer on the second day well into the evening. These were some breaks but very short ones.</p> <p>These bikes are ridden over jumps that are built on the 'dirt track' and sometime seems to be taken in riding them on the spot in circles producing a very loud consistent noise.</p> <p>Fire Hazard</p> | | <p>Photos submitted with report taken at time of submission, which was required as a matter of urgency by Council due to complaint lodged. Current conditions are not typical of conditions when activity commences after Council consideration.</p> | |
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| | | <p>The proposal submitted has many photographs obviously taken at the beginning of winter which contrasts totally with the realities of the warmer months.</p> <p>We are very frightened at the moment of the fire hazard we have on our doorstep due to Lot 6 being covered with high dry grass and incomplete (some 350m) of firebreak has not been made.</p> <p>Mr Wolfe, we presume came up and drove the tractor around the firebreaks about 9.15pm last Tuesday night, please refer to the 'before' and 'after' photographs of his firebreak which is parallel to our driveway.</p> <p>Trevor has been a volunteer fire fighter for 39 years, 15 of them at the Inkpen Brigade so he fully understands the risks the hazards on Lot 6 pose for us.</p> <p>Conclusion During the last 20 years we have gradually developed Lot 7 into a small farm which has taken most of our resources to improve. We have has small flocks of sheep, bred cattle and every year have harvested a small hay crop.</p> <p>The farm over the years has become a focal point got the family, we have has one wedding and two christenings held here. My late mothers ashes we scattered here at her request.</p> | | <p>Lot 7 on P2190 gains usual access by a right of carriageway through the subject land, registered in 1993.</p> <p>Council or it's officers are welcome to view the full track at their convenience. Other than perhaps providing a video, it is otherwise difficult to give an accurate visual depiction.</p> | <p>Section 10.2 of LPS6 details matters to be considered by the Local Government when assessing an application and making a determination, impact on property value is not a detailed consideration, therefore, cannot contribute to making a determination on this application.</p> |
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| | | <p>The children and grandchildren have enjoyed the ponies and their motorbikes here and frequently come here to camp in their tents or to have birthday celebrations.</p> <p>We knew one day as age took its toll, we would have to sell and downsize and unfortunately move on. This property we have developed we thought would be our 'superannuation'.</p> <p>A Real Estate agent has advised us that we could expect a drop in value of \$70-\$80k, that is if a buyer could be found for a property with such a visible (from the Great Southern Highway) and audible Motor Cross Track so close to the house.</p> <p>The proposal that Steve Wolfe has submitted has not revealed the true nature of the track he has installed and has not in light of what we have been witness to has not shown responsibility in maintaining Lot 6.</p> | | | |
| 5 | Murray Bow & Jo Muir 1629 Great Southern Highway | <p>As owners of Lot 5 (1629 Great Southern Highway) Woottating, we would prefer that the proposal be an additional use rather than change of use. There are certain responsibilities that come with maintaining a rural property and those responsibilities may not be the primary concern of an owner who only acquires a property for recreational use.</p> <p>We have no objection to the retrospective application, subject to the use as described in the application being overseen and controlled by the Shire of Northam and it being in addition to the properties zoned rural use.</p> | No objection subject to appropriate use | It is the applicant's intention to keep the primary use of the land for farming and as a future family home. Private recreational use for motorbike riding is proposed only as an addition use. | <p>The submission is noted.</p> <p>It is considered that the proposed dirt track is the primary land use of the lot and is inconsistent with the intentions of the rural zoning and is one of the reasons for Officers recommending refusal of this application.</p> |

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| | | | | | The proponent is bound to comply with the <i>Environmental (Noise) Protection Regulations 1997</i> . |
| 6 | TI & J Jujnovich 1459 Great Southern Hwy | <p>In response to the proposal to change the zoning of Lot 6 from Rural to Recreational for the use of a motorcycle track, I would like to submit to Council the following objections and concerns if the rezoning from rural to recreational be approved:</p> <p>I have owned and lived at Lot 63 (1459 Great Southern Hwy) since 1960 and I am a full time Farmer since that time. My property, in particular Lots 63, 153 and 1055 are contiguously adjoining Lot 6. My house built on Lot 63 is less than 800 metres from the motorcross site and it is at the top of the valley that heads the Mundaring Weir Water Catchment area. The catchment water runs through both properties heading East and crosses the highway at Wundabinnering Road to flow through to the Weir and subsequently into the Helena and Swan Rivers. Our farming activities have been restricted due to its location. It should be noted that the properties in question in the restricted area were released prior to Federation.</p> <p>I am the only full time farmer in the area surrounding Lot 6. The other 11 adjoining neighbours, five live on their properties but work off the land, the other six only reside occasionally on their properties.</p> | Noise, Bushfire Risk, Environmental Impact | DoW has no objection to the proposed use. | <p>The submission is noted.</p> <p>It should be noted that the application is for a 'change of use' rather than a 'rezoning'. The 'Rural' zoning of the land will not change.</p> <p>The Department of Water has advised that they have no objection to the proposal.</p> |

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| | <p>In the proposed submission to the Shire, it is stated that residents have put up with the traffic noise from the Highway so the activities proposed by Mr Wolffe should not bother them. I point out that the traffic noise is not constant whereas noise from a motorcross bike or bikes are constant, and can go on for hours which has happened in the past months. The activities which have been going on several occasions have been several bikes racing around.</p> <p>The track and jumps are already in place and Mr Wolffe, being a FIFO worker, has ridden his Motorcross bike on the weekends when he is away from his workplace. There is a constant noise, often echoing up the valley, and can be heard for several hours from my residence.</p> <p>I have stock, in particular cattle with calves at foot, grazing on the paddocks adjoining Lot 6. My cattle are not used to motorbikes and can be disturbed by the noise. I have cattle agisted on a property on Chitty Road, Bakers Hill, and through the owners children racing around the paddocks on motorbikes I had a \$6000 Angus bull, due to being scared by the bikes, ran through a fence and ripped his rear hoof off and subsequently had to be destroyed.</p> <p>It should be noted that constant noise from motorbikes is a bit different to a bike being used for agricultural purposes.</p> <p>The risk of fire from a spark thrown from a BBQ (already Mr Wolfe has guests at a BBQ in the paddock and other bikers racing around the track), my property would be the first affected by fire, and if the summer easterly winds prevail, would subject the property to a</p> | | <p>Applicant has stated when and how private recreation activity will be used in submitted report. Applicant stands by such submission.</p> <p>Fire risk commentary in 1 above.</p> | <p>Officers have noted these concerns regarding noise impacts and have concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application.</p> <p>Officers have noted these concerns and have concluded that the proposal presents an</p> |
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| | | <p>wipe out, including my residence, which has a wooden shingle roof. (The house is circa 1849).</p> <p>I have no objection to Mr Wolffe and his immediate family riding a motorbike around his paddocks, but object to hours of constant noise from a motorcross bike. If the Council does approve the change of zoning to Recreational, who is going to police the activities and the number of times the track is used, and by how many bikes?</p> <p>There is also a concern that if Mr Wolfe does get the rezoning and sells the property, the new owners can do whatever they like in regards to as recreational activities with complete abandonment of the disturbance to their adjoining neighbours.</p> <p>As you are aware, there is an application for a motorcross park east of the Northam townsite, which if approved, Mr Wolfe could join in activities at that Park or visit the Beverley Race Track where it is already approved.</p> <p>I would appreciate my concerns be tabled at the proposed Council meeting and be determined that the site is unsuitable for such proposed activities, due to the closeness of neighbours and being conducted in a Water Supply restricted area.</p> | | | <p>unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application.</p> |
| 7 | <p>Joanne Longman Lot 401 Wundabiniring Road</p> | <p>My property lies approximately 2 kilometres as the as the crow flies to the south of the property in question, but I still have three broad concerns regarding the proposal. More specifically they relate to:</p> <ul style="list-style-type: none"> • Fire Risk • Noise • Topography & Environment | <p>Fire Risk, Noise, Environmental Impact</p> | <p>Fire risk commentary in 1 above. The private recreational activity is not currently being used and the property will be made safe prior to the use</p> | <p>The submission is noted. The land owner is bound to comply with the Shire's Firebreak Order.</p> |

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| | | <p><u>Fire Risk</u> The property in its current state presents an unacceptable fire risk. There are wild oats up to a meter high in places on either side of the relatively narrow bike track and the fuel load across the entire property is high from lack of grazing. Firebreaks in themselves will rarely confine a fire within their boundaries and, given the overall high fuel load, would most certainly not do so in this instance. From my aspect as a property owner in the vicinity of the proposed track, I find the risk of a fire igniting and then spreading from the property to neighbouring properties and the State Forrest to be both real and totally unacceptable. Additionally, the entire cluster of farm land properties bounding Mr Wolfe’s property are surrounded by water catchment and the State Forrest area opposite is also water catchment. Fire in this area could seriously affect the water quality running off into the catchment area.</p> <p>To further add to the fire danger, the firebreaks contain a large amount of flammable material due to the lack of grazing and having not been sprayed prior to scarifying. Should the track be approved by Council, Mr Wolfe should not be permitted to ride his bike on the property until at least the end of the restricted burning period next year because of the current, real fire risk. Further, approval should be subject to him undertaking adequate steps to reduce the fuel load in future years and install firebreaks that meet the relevant standards. Council should inspect the</p> | <p>commencing after Council determination. Firebreaks will be maintained and upgraded where necessary. The DoW advise no objection to the proposed land use. Submitter, being outside the 1km buffer zone, advises noise from trail bike riders far more audible if not as persistent. Applicant has stated when and how private recreation activity will be used in submitted report. Applicant stands by such submission.</p> | <p>Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application.</p> <p>Officers have noted these concerns and have concluded that the</p> |
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| | <p>property going into the fire season to ensure compliance.</p> <p><u>Noise</u> Whilst my residence lies outside of the 1km buffer zone referred to in Mr Wolfe’s proposal, I have concerns amount the noise emitted from the track. When he has used the track in the past it is clearly audible from my property, especially when the wind is coming from the south east. Under certain weather conditions noise from Great Southern can be heard, but this is no as constant and wearing like the noise from the track. Similarly the noise made by the trail bike riders is defiantly a nuisance and whilst far more audible does not persist as the riders move quickly through the area. Given the location of my property and the fact that the noise from the track is clearly audible, I doubt the impact on the residences immediately neighbouring the track is as negligible and tolerable as stated in the proposal.</p> <p>On my reading of the Environmental Protection Act 1986 and the Environmental Protection (Noise) Regulations 1997 (WA) the dirt bikes do not meet the requirements to be classified as farm vehicles and therefore should comply with permissible noise levels. Mr Wolfe should be required to demonstrate that noise levels emitted are within the legal range.</p> <p>My other concern is the proposed extent of the use of the track. As stated in his proposal, it revolves around Mr Wolfe’s work roster which currently would restrict</p> | | | <p>proposal presents an unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application.</p> <p>Officers have noted these concerns regarding noise impacts and have concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application.</p> |
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| | <p>the use of the track to 26 days per year which is not entirely unacceptable with appropriate safeguards. Should the track be approved it should be on the stipulation that the track is only ever used 26 days of the year to cover any future changes to Mr Wolfe’s work or residential situation. I further believe that his proposal to ride for six hours per day with two half hour breaks is excessive and would cause a persistent disturbance. Either the period he rides between breaks should be reduced or the length of the breaks increased to provide relief to neighbouring residents. Finally, whilst the “Recreation - Private” classification means the venue is not open to the public, there is no restriction on the number of people Mr Wolfe can allow at the one times on the property despite his assurance that only one bike would be using the track at a time.</p> <p><u>Topography & Environment</u> Wundabiniring Brook which runs into the water catchment begins on the property in the wise drainage flat. The dirt bike track has the potential to affect the flow of the brook and water quality through pollution. There is also potential for water erosion on the track as from the main road it can clearly be seen to run vertically down the slope in one section and up the slope on a steep diagonal line in another.</p> <p><u>Conclusion</u> For the reasons outlined above, overall I do not support the proposed retrospective change of use. Should, however, Council decide in favour of the</p> | | | <p>The Department of Water has advised that they have no objection to the proposal.</p> |
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| | | <p>proposal I believe it should be accompanied by the following stipulations:</p> <ol style="list-style-type: none">1. That the track cannot be used at least until the end of the upcoming restricted burning period because of the high fire risk present this season.2. That Mr Wolfe be required to submit a detailed fire management plan to Council for future years. Further the property must be inspected annually by a Shire Ranger to ensure compliance as he has clearly shown this year in his submission that his fire awareness and management skills are deficient.3. That Mr Wolfe should be required to demonstrate using independent and approved measuring activities that noise levels emitted are within the legal range.4. That his use of the track be confined to 26 days per year and that the period of use in any one day be confined to a maximum of 1.5 hours per session with 1 hours break between sessions between 10am and 4pm on a Saturday.5. That steps be taken to minimise the potential for water erosion for example through installing drainage points along sections the track that present a risk. <p>Failure to comply with any one of the first four stipulations should result in Council reviewing its</p> | | | |
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| | | decision to approve the track and withdrawing permission for its use and an order for the removal of earthworks. | | | |
| 8 | Department of Water | <p>The proposed development is situated within the Mundaring Weir Catchment Area and is managed for the Priority 2 (P2) source protection. P2 source protection areas are defined to ensure that there is no increase in risk of pollution to the water source. P2 areas are declared over land where low intensity development (such as rural) already exists. Protection of public water supply sources is a high priority in these areas. P2 areas are managed in accordance with the principle of risk minimisation and some development is allowed under specific guidance.</p> <p>The private motorbike track is not an incompatible land use and as such the DoW have no objections.</p> | No Objection | It is noted the applied for private recreational activity is not an incompatible land use and as such the DoW has no objection. | The submission is noted. |
| 9 | Main Roads Western Australia | <p>Main Roads WA advises no objection to the proposal subject to the following condition;</p> <ol style="list-style-type: none"> 1. The track is for private use only and will not be opened for public use at any time. 2. Any changes to the usage of existing accesses would require MRWA approval. | No Objection | | The submission is noted. |

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13.2.2 APPLICATION FOR DEVELOPMENT APPROVAL TO EXTEND THE TAVERN USE (LOOSE FOOT SALOON) AT LOT 800 BODEGUERO WAY, WOOROLOO

| | |
|--------------------|---|
| Name of Applicant: | Joshua Webber |
| Name of Owner: | George Webber |
| File Ref: | A15665/P2128 |
| Officer: | Chadd Hunt / Courtney Wynn |
| Officer Interest: | Nil |
| Policy: | <i>Local Planning Scheme No.6 Planning & Development Act 2005 Planning Regulations 2015</i> |
| Voting: | Simple Majority |
| Date: | 26 November 2015 |

PURPOSE

Council is requested to consider an application for development approval to extend the tavern use at Lot 800 Bodeguero Way, Wooroloo. This application is being referred to Council for consideration as the applicant is proposing a variation to the car parking requirements as specified under Clause 5.13 of Local Planning Scheme No 6 (the Scheme).

It is recommended Council resolves to approve the application subject to conditions.

BACKGROUND

Context

Lot 800 Bodeguero Way, Wooroloo is located near the El Caballo Resort Hotel, approximately 36km from Northam townsite via Great Eastern Highway. Refer Appendix 1 – Location Plan.

The building in which the Loose Foot Saloon is located incorporates a drive-through bottle shop, four empty shop tenancies and an upstairs residence which are not subject to this application.

The applicant has already constructed an [unauthorised] gazebo and outer deck area on the northern boundary of the lot. On closer inspection of the plans submitted with the application, it would appear that the existing gazebo and outer deck area encroaches onto the abutting landowner's lot (Lot 87). Refer Appendix 2 – Overall Site Plan.

Vehicular access to the Loose Foot Saloon is facilitated via an existing right-of-carriageway over Lot 801 (existing Puma service station on Great Eastern Highway) and via Bodeguero Way to the east of the site, as depicted on the overall site plan.

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Proposal

The applicant proposes to convert one of the shop tenancies into a commercial kitchen as the Loose Foot Saloon does not current have a kitchen and cannot serve any food to patrons. The applicant is also proposing to expand the tavern footprint to incorporate an outdoor 'beer garden' area up to the northern boundary of the lot.

The proposed trading hours for the Loose Foot Saloon are as follows:

- Bottle Shop - midday to 8pm Sunday to Wednesday and midday to 11pm Thursday to Saturday; and
- Tavern - midday to 10pm Sunday to Thursday and midday to 12pm Friday to Saturday.

The detailed internal layout will depend upon any conditions placed by the liquor licence issued by the Department of Racing, Gaming and Liquor. However, it is intended that the tavern will be accessed through an additional new entry point at the rear of the building. Refer site plan marked 'Site Plan B' (Appendix 3).

As the delivery bay would become a shared space, deliveries would be restricted to outside of trading hours to ensure the safety of patrons. Other proposed works include the:

- demolition of an existing derelict bar structure;
- replacement of courtyard fencing;
- resurfacing of the existing car park; and
- construction of a new car park.

The application proposes a total of 62 car parking bays located on the site accessed via the Great Eastern Highway and Bodeguero Way.

The applicant advises that the existing bathrooms will be converted to an accessible unisex toilet. The existing delivery bay is proposed to be incorporated into the beer garden at the rear of the building. There are existing rubbish storage areas located at the rear of the building, however, these areas are required to be screened to preserve the amenity of the site.

It should be noted that prior to the proposed beer garden becoming operational, the applicant would be required to apply for, and have had granted a liquor licence by the Department of Racing, Gaming and Liquor.

STATUTORY REQUIREMENTS

SHIRE OF NORTHAM LOCAL PLANNING SCHEME NO 6

Lot 800 Bodeguero Way, Wooroloo is approximately 8,097m² and is zoned 'Special Use 1' under Council's Local Planning Scheme No.6 which specifies that the use of the lot is restricted to the following;

- (a) *Lot 800 - Tavern & uses ancillary thereto as approved by the local government.*

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Schedule 4 of the Scheme also specifies that following Conditions are applicable to this lot;

1. *All development and use shall be subject to an Application for Planning Approval.*
2. *All development and use shall be in accordance with any plans, conditions and management requirements approved by the local government.*
3. *No alterations or extensions to the land use shall be undertaken without the approval of the local government.*

The proposal is considered to fall within the use listed in Schedule 1.

The Scheme defines 'Tavern' as follows:

“tavern” means premises licensed as a tavern under the Liquor Control Act, 1988 and used to sell liquor for consumption on the premises

The proposal is therefore consistent with the objectives of the Special Use 1 zone and is permitted.

Clause 5.13 Car Parking

The Scheme predicts that the minimum car parking requirements for a tavern is 1 bay per 5m² of public area plus 1 bay per 4 restaurant dining seats. Therefore, the minimum car parking requirements have been calculated as follows:

573.3m² internal and external public area.

Thus, $573.3\text{m}^2 / 5\text{m}^2 = 114.6$ bays

Plus

55 Restaurant Dining Seats indicated on the floor plan / 4 = 13.7 bays

Therefore the minimum car parking requirements are 128.3 (129) car parking bays.

In accordance with the Building Code of Australia a minimum of 1 Disabled Bay is required per 50 bays provided, the applicant has proposed 1 disabled bay as part of this application. 1 loading bay is provided in a shared space at the rear of the building.

Section 5.13.6 stipulates;

5.13.6 Where the owner can demonstrate to the satisfaction of the local government that there is not the demand for the number of parking spaces specified in the 'Table 3: Car Parking Guidelines', landscaping may be provided in lieu of car parking spaces not constructed and the landscaping shall be included in calculations as car parking but not as landscaping, provided that the local government may from time to time require that additional parking spaces be provided by the owner.

The application proposes 42 on site car parking bays. One of the bays proposed is a disabled bay.

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PUBLIC CONSULTATION

Officers gave notice of the application on 11th November 2015 to the adjoining land owner (service station) for comment.

No Submissions were received.

CONFORMITY WITH COMMUNITY STRATEGIC PLAN

OBJECTIVE C1.7: Provide an environmental that enhances and builds on the liveability of the Shire.

The proposed rejuvenation of the building and car parking areas would improve the appearance and amenity of the site whilst the tavern provides for socialisation among residents and tourists.

BUDGET IMPLICATIONS

The cost of the development application fee and advertising fee was a total of \$279.00.

There are no financial/budgetary implications for the Shire of the recommendations of this report.

OFFICER'S COMMENT

The proposal to extend the tavern and renovate the Loose Foot Saloon is generally supported, however, there is seen to be two key issues impacting on the proposal, namely:

- Encroachment of the gazebo and outer deck area onto the abutting lot on the northern boundary of the subject site; and
- The shortfall in the number of parking bays relevant to the Scheme standards.

Each of these issues is outlined and discussed below, followed by a conclusion.

Gazebo encroachment

As outlined under 'Background' section of this report, the gazebo and outer deck area encroaches onto the abutting Lot 87. Officers have advised the applicant that the Shire would be unable to support the gazebo and outer deck area in the current location (given that the structures straddle a lot boundary), whereupon the applicant advised that he would seek to dismantle the gazebo and decking, and rebuild same upon approval of the development application and following the issuing of a building permit by the Shire.

This undertaking is acceptable to planning officers, subject to an appropriate condition of development approval requiring the applicant to submit revised plans for approval prior to any works commencing in relation to this development proposal.

Parking requirements

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As specified under Clause 5.13.6 of the Scheme, the Shire may accept a proposal for landscaping to be provided in lieu of car parking spaces provided that the owner can demonstrate that there is not the demand for the number of parking spaces specified in 'Table 3: Car Parking Guidelines'.

The applicant has submitted detailed evidence based on patronage data (refer Appendix 4) that suggests that once the proposed improvement works have been completed, the Loose Foot Saloon will require only 42 bays. However, the applicant is also proposing an additional 20 bays for use as overflow parking, bringing the total number of car parking bays proposed to 62 bays.

There is also a likelihood that patrons may also park on the adjoining service station property as currently, patrons must cross this property to access the Loose Foot Saloon from the Great Eastern Highway. In addition to this the lot boundaries and the current car parking access arrangements are not defined by line markings on the site and is functioning as an integrated car parking area for the two sites.

Further to this, the applicant has advised that patrons from the nearby resort and lifestyle village often access the site on foot which does not place any demand on car parking facilities.

Officers have assessed the proposal and have determined that the 129 bays required as predicted by the Scheme is unreasonable in the context of this proposal. It is therefore considered that a reduction in the number of car parking bays (62 bays) can be considered appropriate.

Conclusion

The applicant has not submitted a detailed landscaping plan for the site which is recommended to be submitted as a condition of approval.

The proposed refurbishment and new car parking facilities is compatible with the intentions of the Special Use zone. The proposed works are located on a site that is visually prominent at the main entry point for visitors to the Shire of Northam.

Once refurbishment works are completed the Loose Foot Saloon will offer a new dining and social venue for people in the lifestyle village and Wooroloo area.

Therefore it is recommended that Council resolve to approve the application to extend the tavern use at Lot 800 Bodeguero Way, Wooroloo with the proposed car parking variation subject to conditions.

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RECOMMENDATION / COUNCIL DECISION

Minute No: C.2600

Moved: Cr Little
Seconded: Cr Proud

That Council approves the development application (P2128) to extend the Tavern use at Lot 800 Bodegeuro Way, Wooroloo subject to the following conditions:

GENERAL CONDITIONS

- 1. The development hereby permitted must substantially commence within two years from the date of this determination notice.**
- 2. Before the use and works start, amended plans to the satisfaction of the local government must be submitted to and approved by the local government. When approved, the plans will be endorsed by the CEO or the Executive Manager Development Services and will then form part of the approval. The plans must be drawn to scale with dimensions and two copies must be provided. The plans must be generally in accordance with the plans submitted with the application but modified to show the gazebo and outer decking area within the legal boundary of Lot 800.**

CONDITIONS TO BE MET PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT

- 3. Prior to commencement of development, a detailed landscaping plan is to be submitted to and approved by the local government.**
- 4. Prior to the commencement of development, detailed drainage plans shall be submitted to the satisfaction of the local government.**
- 5. Prior to commencement of development, all signage being submitted to and approved by the local government prior to installation.**

CONDITIONS TO BE MET PRIOR TO OCCUPATION OF THE DEVELOPMENT

- 6. Prior to occupation of the development, the car parking and loading area(s), and vehicle access and circulation areas shown on the approved site plan, including the provision of universally accessible (disabled) car parking, is to be constructed, drained, and line marked to the satisfaction of the local government.**
- 7. Prior to occupation, landscaping is to be completed in accordance with the approved plans or any approved modifications thereto to the satisfaction of the local government.**
- 8. Prior to occupation, the outdoor storage area shall be screened from view to the satisfaction of the local government.**
- 9. Prior to occupation, stormwater drainage works must be completed in accordance with the approved plans to the satisfaction of the local government.**

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10. A suitably screened refuse bin storage area is to be provided in accordance with Shire of Northam's Health Local Law prior to the development first being occupied.

CONDITIONS REQUIRING ONGOING COMPLIANCE

11. All car parking/loading areas, and vehicle access and circulation areas are to be maintained and available for car parking/loading, and vehicle access and circulation on an ongoing basis to the satisfaction of the local government.
12. All car parking and associated loading areas are to be maintained and available for car parking and loading/unloading on an ongoing basis to the satisfaction of the local government.
13. All landscaped areas are to be maintained on an ongoing basis to the satisfaction of the local government.
14. The on-site drainage system shall be maintained on an ongoing basis to the satisfaction of the local government.

ADVICE NOTES

- NOTE 1: If the development the subject of this approval is not substantially commenced within a period of 2 years, or such other period as specified in the approval after the date of the determination, the approval shall lapse and be of no further effect.
- NOTE 2: Where an approval has so lapsed, no development shall be carried out without the further approval of the local government having first been sought and obtained.
- NOTE 3: If an applicant is aggrieved by this determination there is a right of appeal under the *Planning and Development Act 2005*. An appeal must be lodged with the State Administrative Tribunal within 28 days of the determination.
- NOTE 4: The applicant is reminded that this is a Development Approval only and does not obviate the responsibility of the applicant to comply with all relevant building, health and engineering requirements. In this regard your particular attention is drawn to:
- (a) *Food Act 2008*
 - (b) *Health (Public Buildings) Regulations 1992*
- NOTE 5: This development has been defined as a public building and shall comply with the provisions in the *Health Act 1911* relating to public housing regulations. An application to construct, extend or alter a public building is to be submitted with the Building Permit application.
- NOTE 6: A Building Permit being obtained prior to the commencement of any building works and an Occupancy Permit is to be obtained prior to the use of the building.
- NOTE 7: The application is required to be referred to the Fire and Emergency Service Authority prior to the issuing of Building Permit.

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- NOTE 8:** The building application is required to comply with the applicable Wind Classification, Earthquake Factor (Northam = 0.14) and Energy efficiency measures (Climate Zone 4).
- NOTE 9:** All structural plans and details are to be certified by an appropriately qualified engineer and ink signed as part of the building application.
- NOTE 10:** The applicant is required to comply with the sanitary facilities and accessibility requirements in accordance with the *Building Code of Australia*.
- NOTE 11:** Screening is required to the door of the accessible toilet facility
- NOTE 12:** Separate plans are required to be submitted to the Shire of Northam's Health Department of the proposed kitchen fit out and an application is required to be made to the Shire for a Food Business Registration. Please note the current wall alignment shown on the floor plan may require alterations.
- NOTE 13:** A Demolition Permit is required to be obtained from the Local Government's Building Department prior to the removal of the pergola structure.

CARRIED 10/0

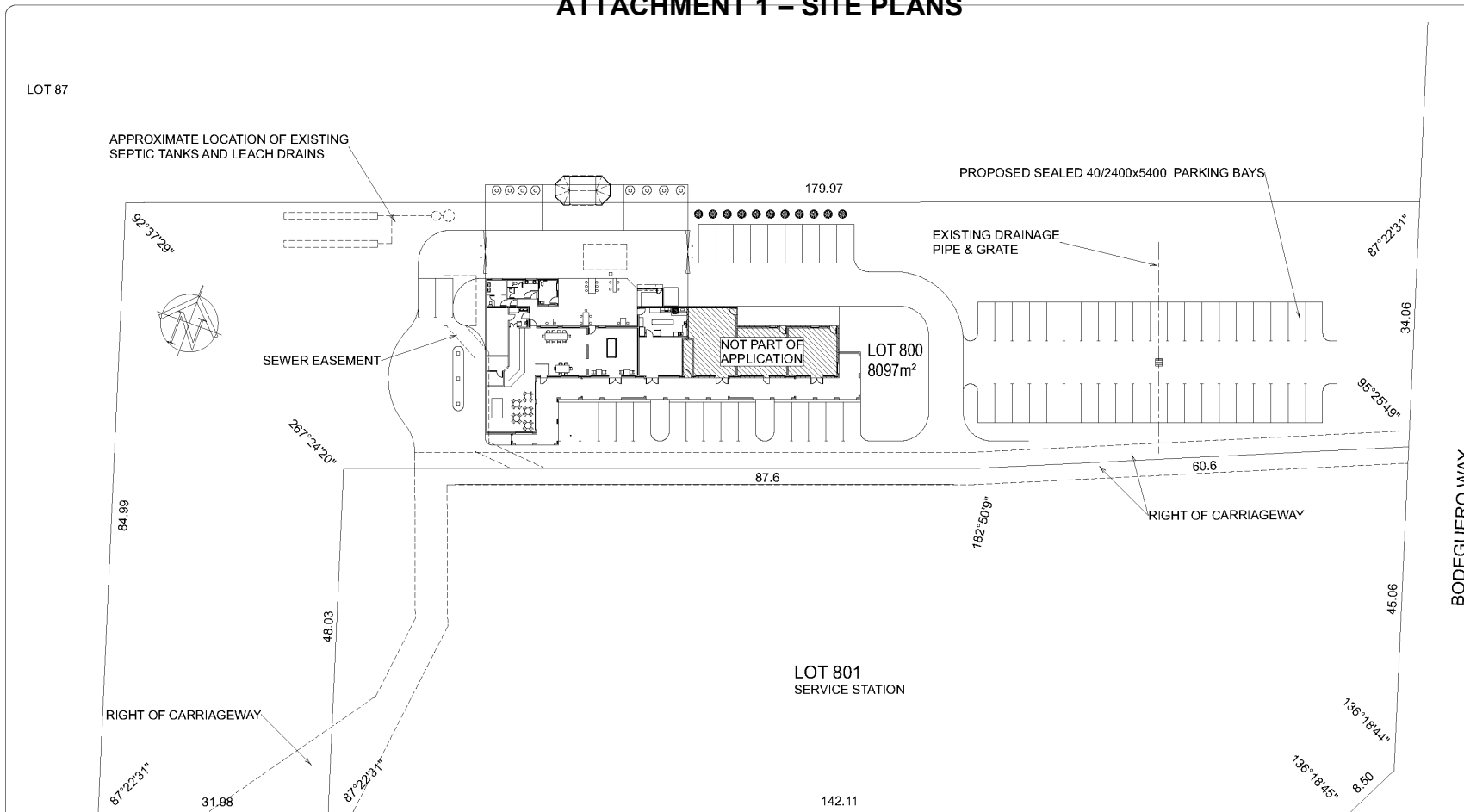
Three (3) members of the Gallery departed the Council Chambers at 5.48pm.

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ATTACHMENT 1 – SITE PLANS



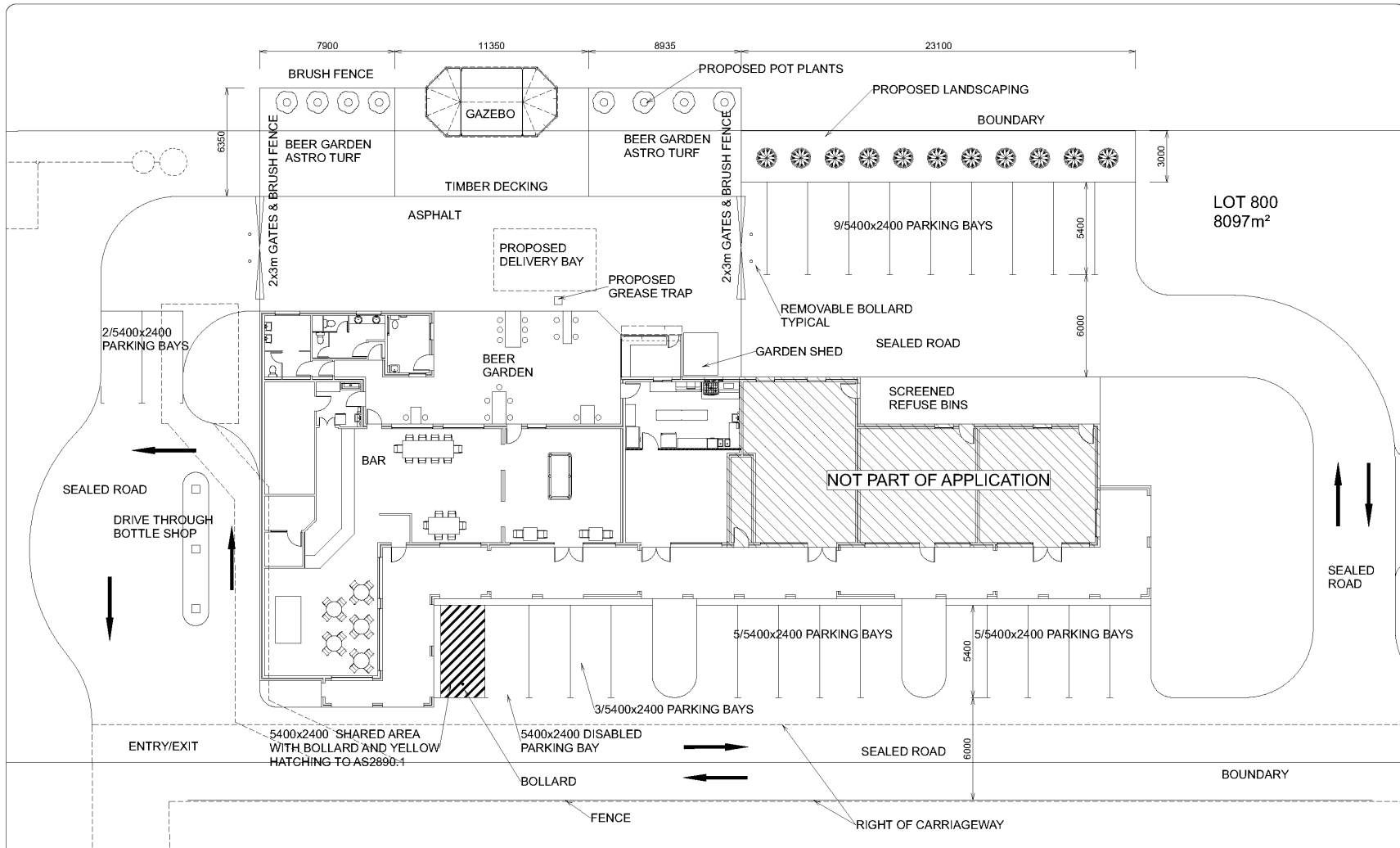
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| BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS WHERE APPLICABLE ENGINEERS DRAWINGS SHALL BE READ IN CONJUNCTION WITH THESE PLANS WRITTEN DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS | | A3 | MEMBER OF BUILDING DESIGNERS ASSOCIATION OF WESTERN AUSTRALIA | | © COPYRIGHT |
| AMENDMENTS A. ISSUED FOR CLIENT REVIEW | AVON VALLEY DESIGN AND DRAFTING SERVICE ABN 44 819 114 721 56 WOODLEY FARM DRIVE NORTHAM W.A. 6401 PHONE/FAX : (08) 9622 2816 MOBILE : 0419 909 485 E-mail : avonvds@bigpond.com | PROJECT PROPOSED ALTERATIONS FOR LOOSE FOOT SALOON LOT 801 - 3381 GREAT EASTERN HIGHWAY WUNDOWIE | | SITE PLAN | |
| NOT FOR CONSTRUCTION | | DRAWN S.R.C. | DATE JULY 2015 | SCALE 1:500 | |
| | | JOB No 14134-A3 | SHEET No 1 | ISSUE A | |

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BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS
 WHERE APPLICABLE ENGINEERS DRAWINGS SHALL BE READ IN CONJUNCTION WITH THESE PLANS
 WRITTEN DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS

A3

MEMBER OF BUILDING DESIGNERS ASSOCIATION OF WESTERN AUSTRALIA



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AMENDMENTS
 A. ISSUED FOR CLIENT REVIEW

AVON VALLEY DESIGN AND DRAFTING SERVICE

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 MOBILE : 0419 909 485
 E-mail : avonvds@bigpond.com

PROJECT
**PROPOSED ALTERATIONS
 FOR LOOSE FOOT SALOON**
 LOT 801 - 3381 GREAT EASTERN HIGHWAY
 WUNDOWIE

SITE PLAN

| | | |
|---------------------------|----------------------|-------------------|
| DRAWN S.R.C. | DATE JULY 2015 | SCALE 1:200 |
| JOB No 14134-A3 | SHEET No 2 | ISSUE A |

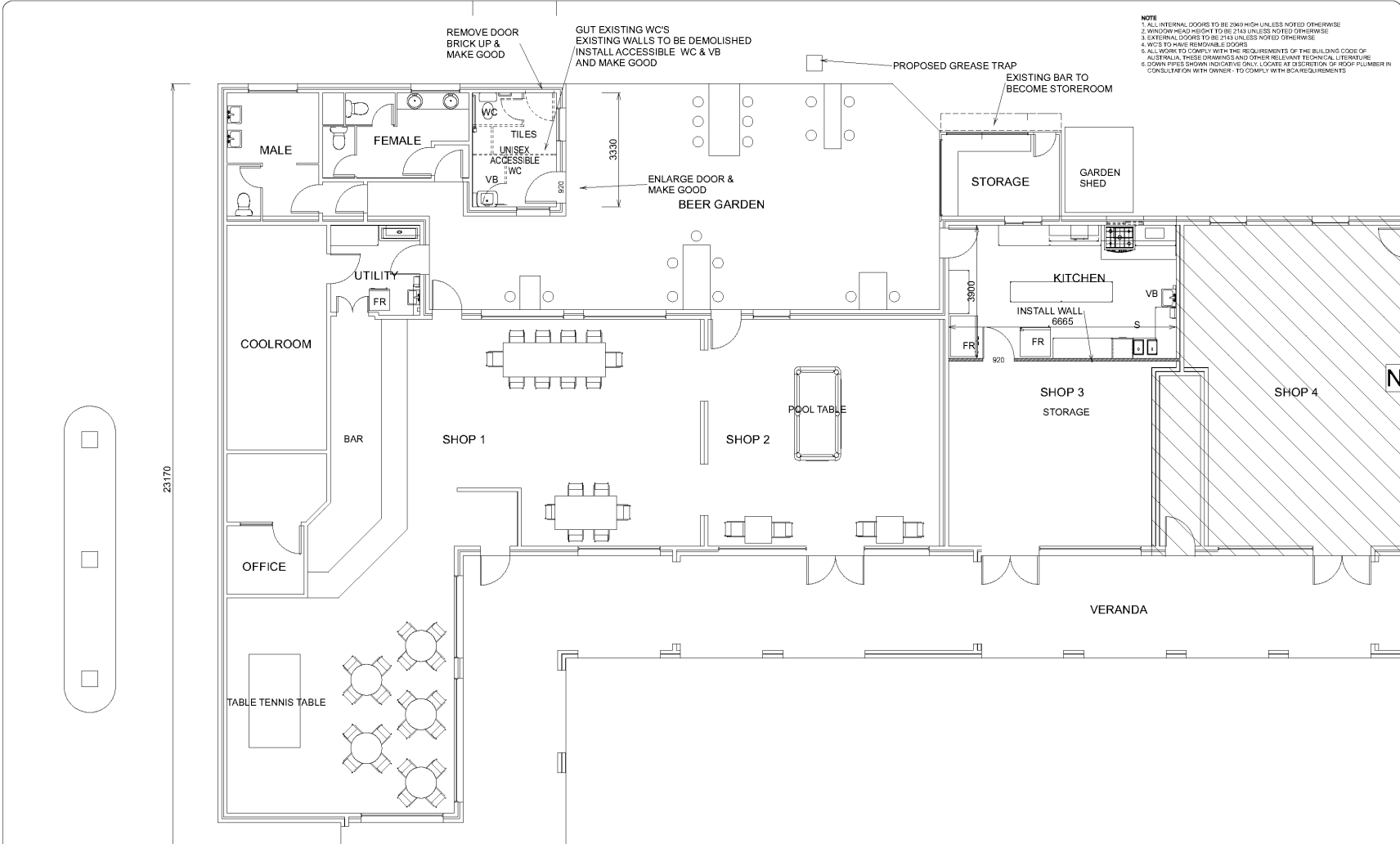
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SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015



NOTE
 1. ALL INTERNAL DOORS TO BE 2040 HIGH UNLESS NOTED OTHERWISE
 2. WINDOW HEAD HEIGHT TO BE 2143 UNLESS NOTED OTHERWISE
 3. EXTERNAL DOORS TO BE 2143 UNLESS NOTED OTHERWISE
 4. WCs TO HAVE REMOVABLE DOORS
 5. ALL WORK TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, THESE DRAWINGS AND OTHER RELEVANT TECHNICAL LITERATURE
 6. DOWN PIPES SHOWN INDICATIVE ONLY, LOCATE AT DISCRETION OF ROOF PLUMBER IN CONSULTATION WITH OWNER - TO COMPLY WITH BCA REQUIREMENTS

BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS
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PROJECT
**PROPOSED ALTERATIONS
 FOR LOOSE FOOT SALOON
 LOT 801 - 3381 GREAT EASTERN HIGHWAY
 WUNDOWIE**

FLOOR PLAN

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|---------------------------|----------------------|-------------------|
| DRAWN S.R.C. | DATE JULY 2015 | SCALE 1:100 |
| JOB No 14134-A3 | SHEET No 3 | ISSUE A |

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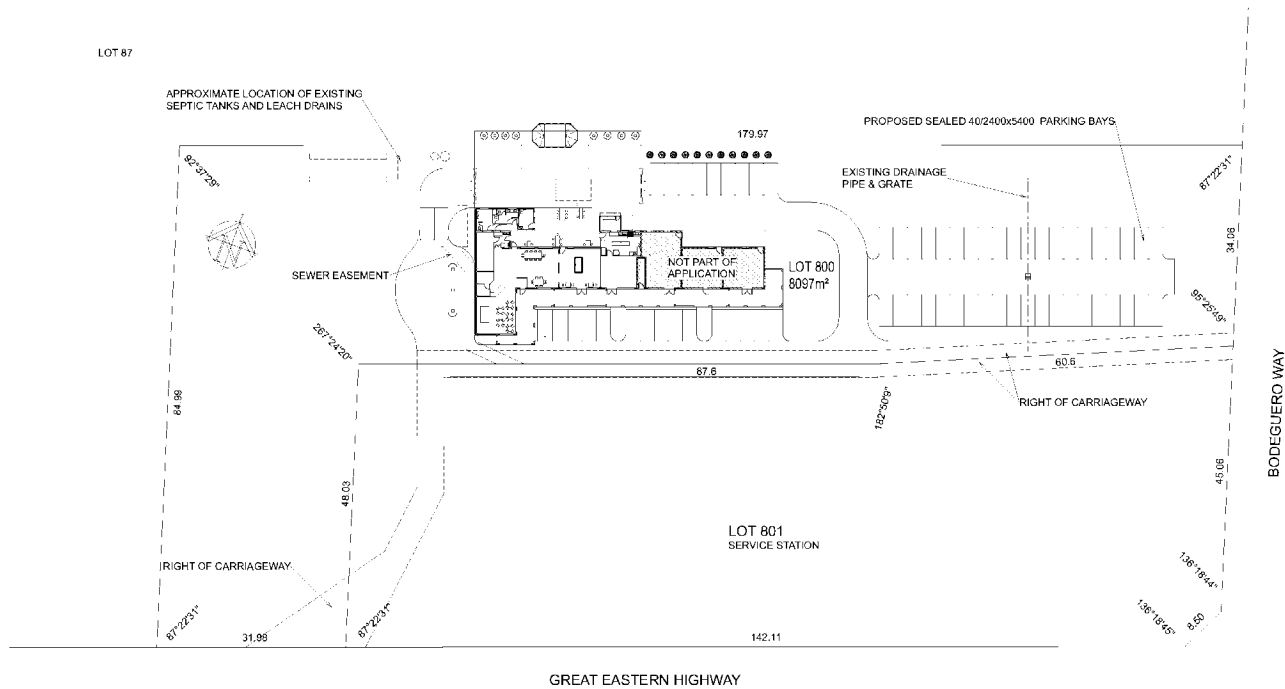
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SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015

ATTACHMENT 2 – CAR PARKING PLANS



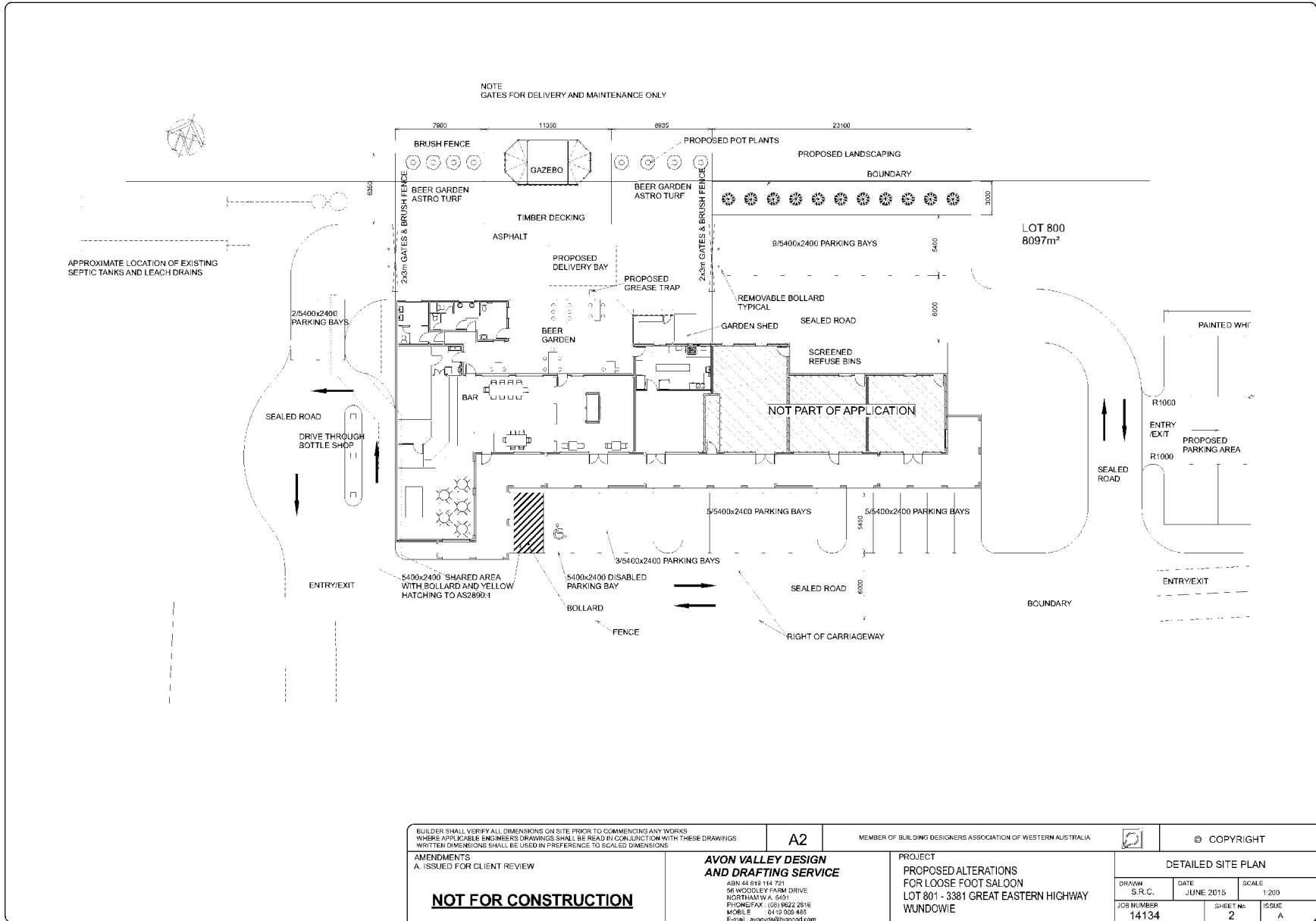
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| NOT FOR CONSTRUCTION | | | OVERALL SITE PLAN | | | | | | | |
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| DRAWN S.R.C. | DATE JUNE 2015 | SCALE 1:500 | | | | | | | | |
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MINUTES

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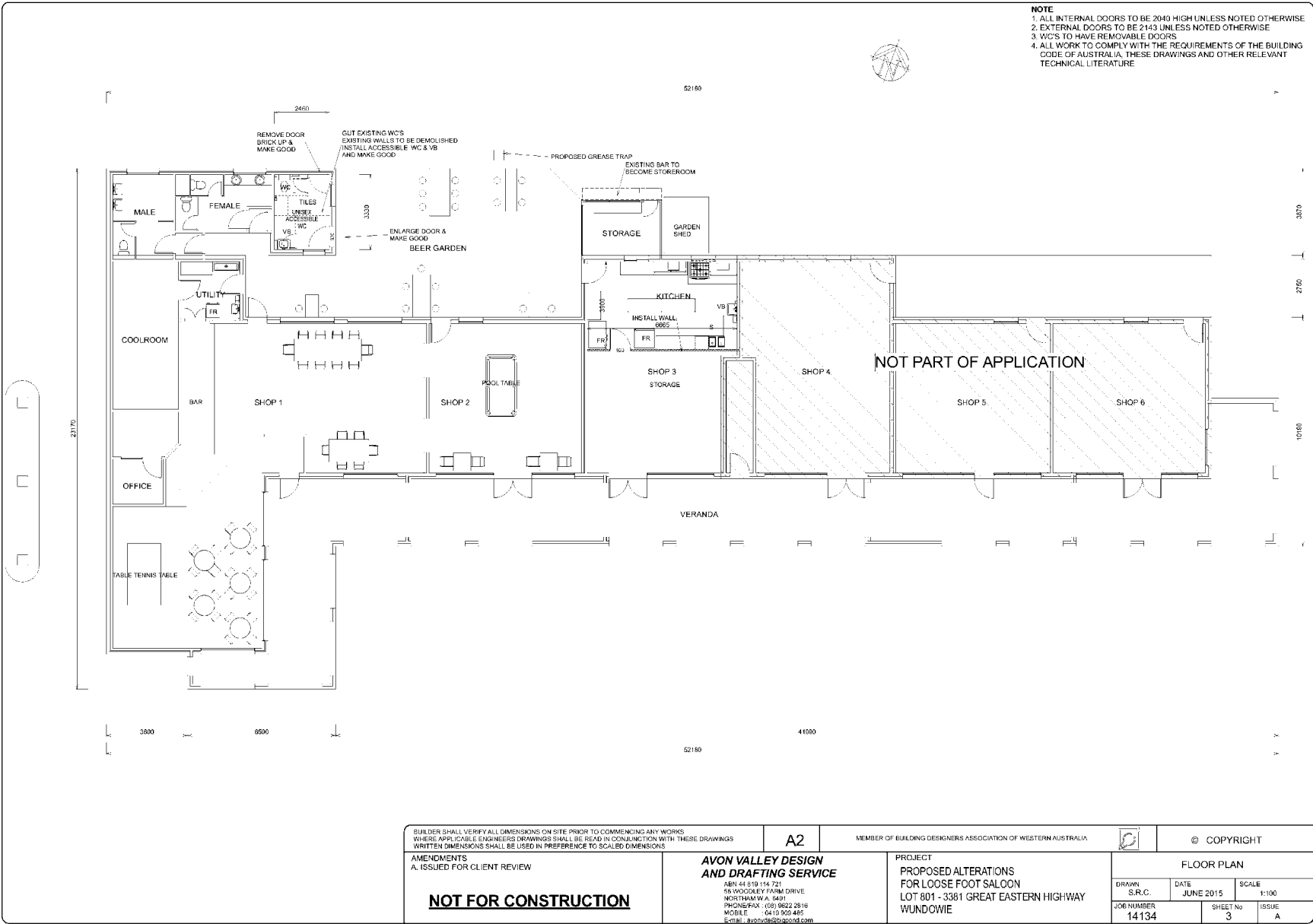


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| | | | DETAILED SITE PLAN |
| DRAWN S.R.C. | DATE JUNE 2015 | SCALE 1:200 | |
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SHIRE OF NORTHAM

MINUTES

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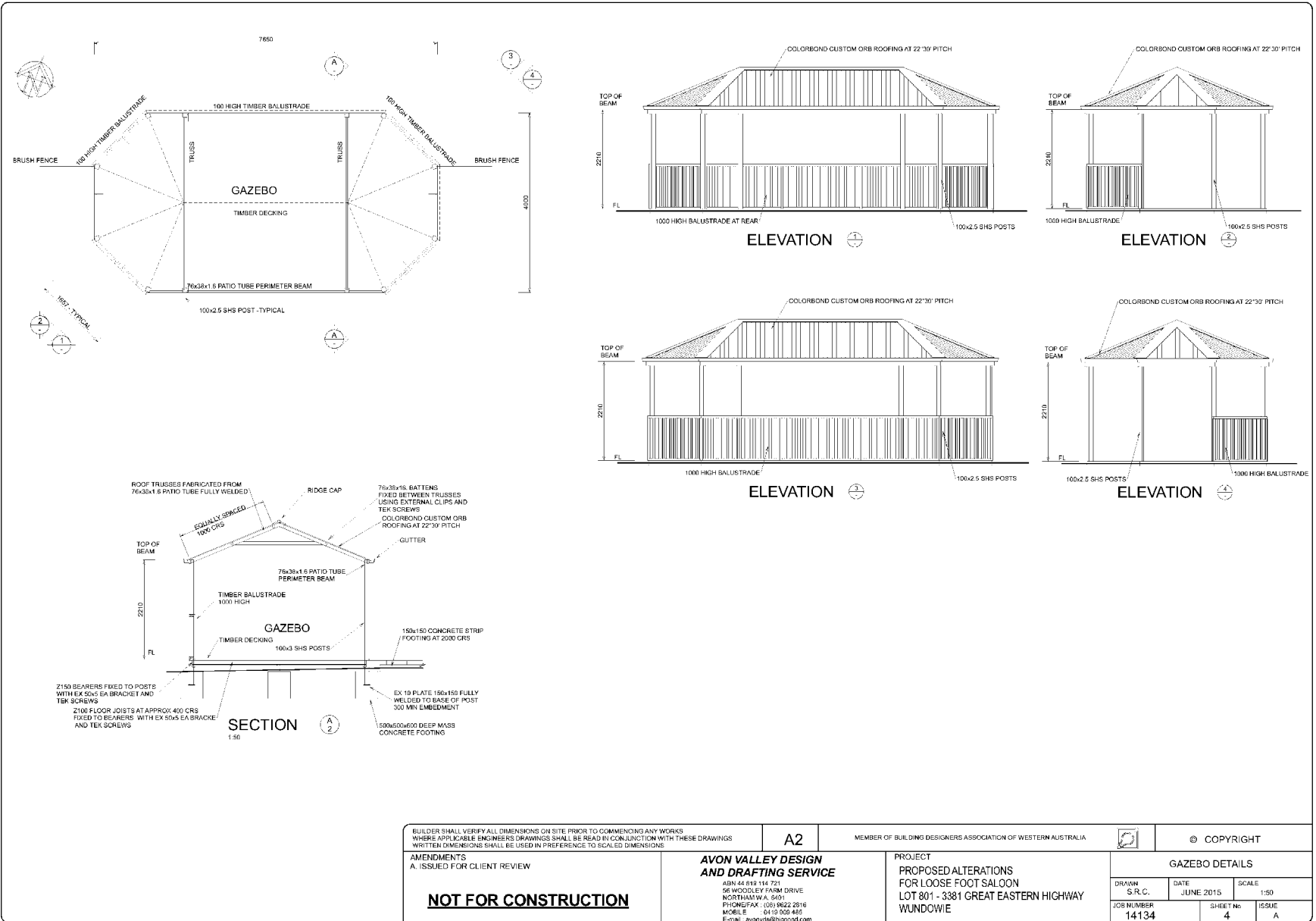


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| FLOOR PLAN | | | SCALE 1:100 |
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PROJECT
PROPOSED ALTERATIONS
FOR LOOSE FOOT SALOON
LOT 801 - 3381 GREAT EASTERN HIGHWAY
WUNDOWIE

GAZEBO DETAILS

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| JOB NUMBER 14134 | SHEET No 4 | ISSUE A |

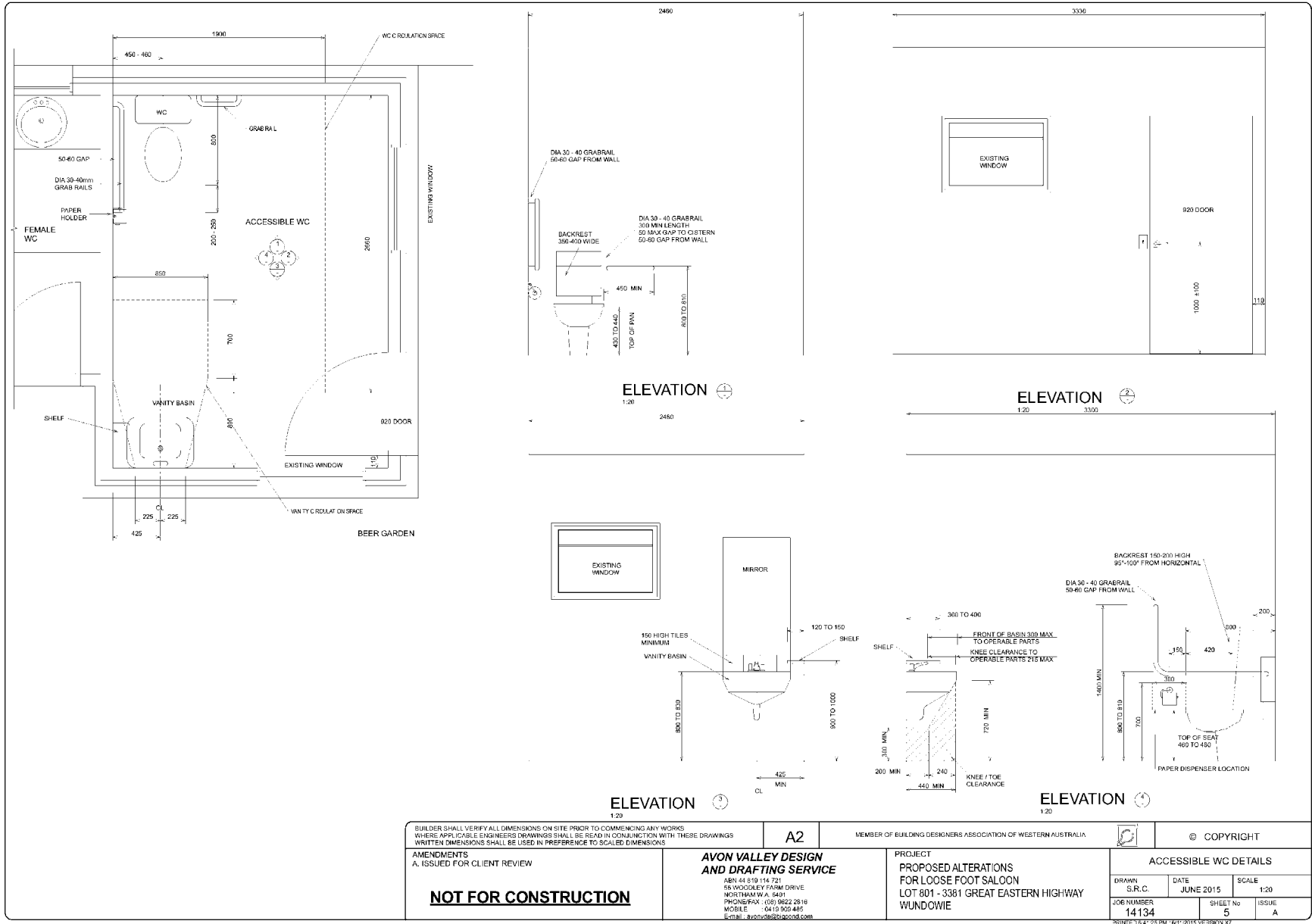
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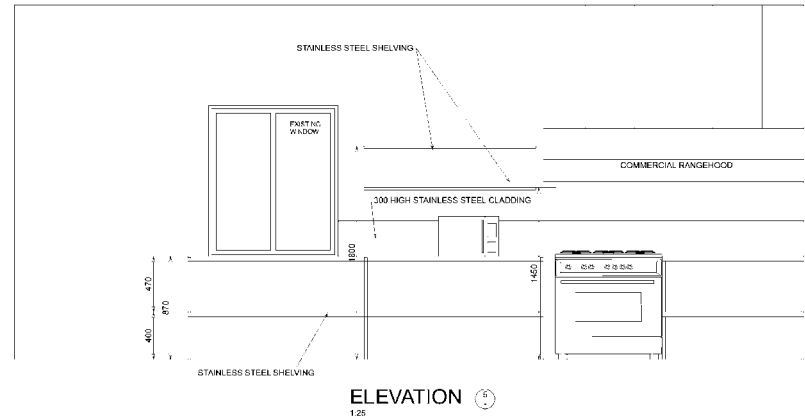
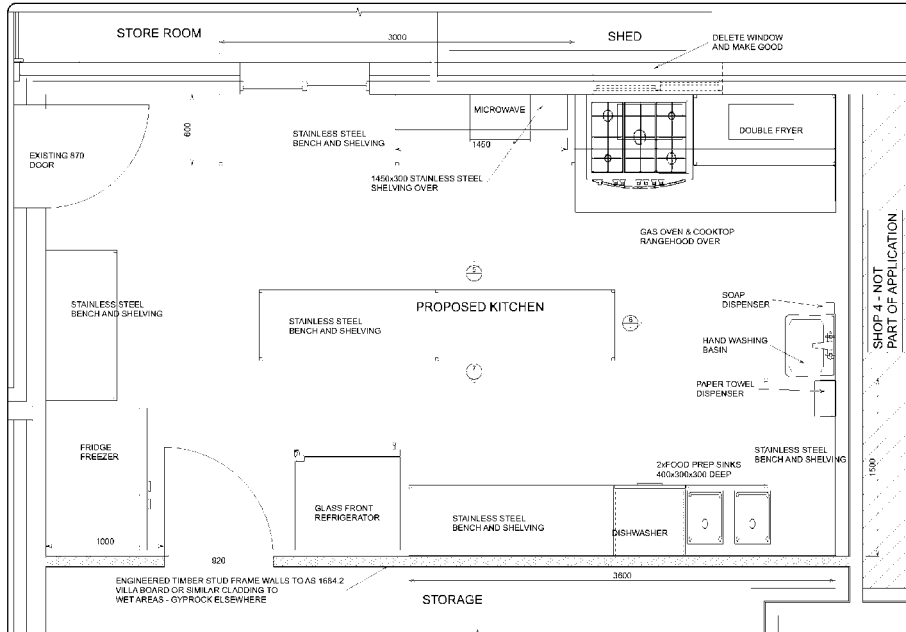


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| DRAWN: S.R.C. JOB NUMBER: 14134 | DATE: JUNE 2015 SHEET No: 5 | SCALE: 1:20 ISSUE: A | <small>PRINTED: 16:47:25 PM 16/12/2015 VERSION: X1</small> |

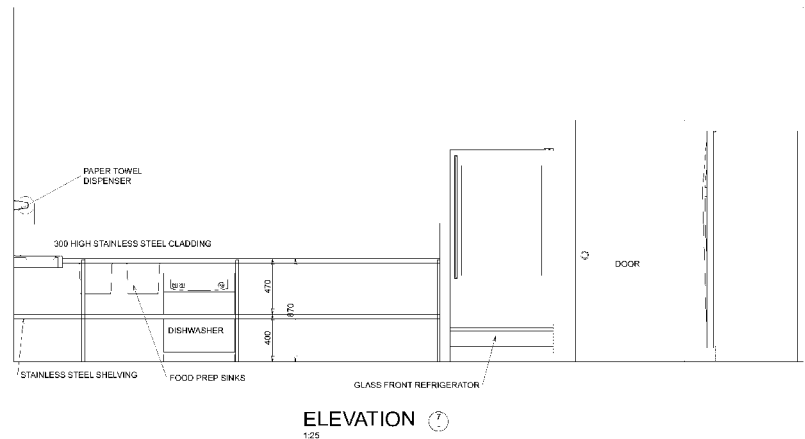
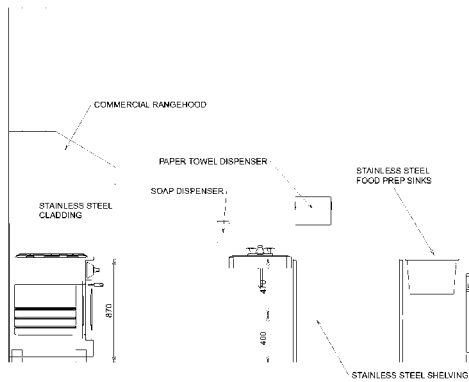
SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015



- NOTE**
1. CONSTRUCTION AND FIT OUT TO COMPLY WITH AS4674
 2. COMMERCIAL GRADE FLOOR COVERING TO BE INSTALLED
 3. CORNERS TO BE COVERED 9.5mm RADIUS MINIMUM



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PROJECT
PROPOSED ALTERATIONS
FOR LOOSE FOOT SALOON
LOT 801 - 3381 GREAT EASTERN HIGHWAY
WUNDOWIE

KITCHEN DETAILS

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| JOB NUMBER 14134 | SHEET No 6 | ISSUE A |

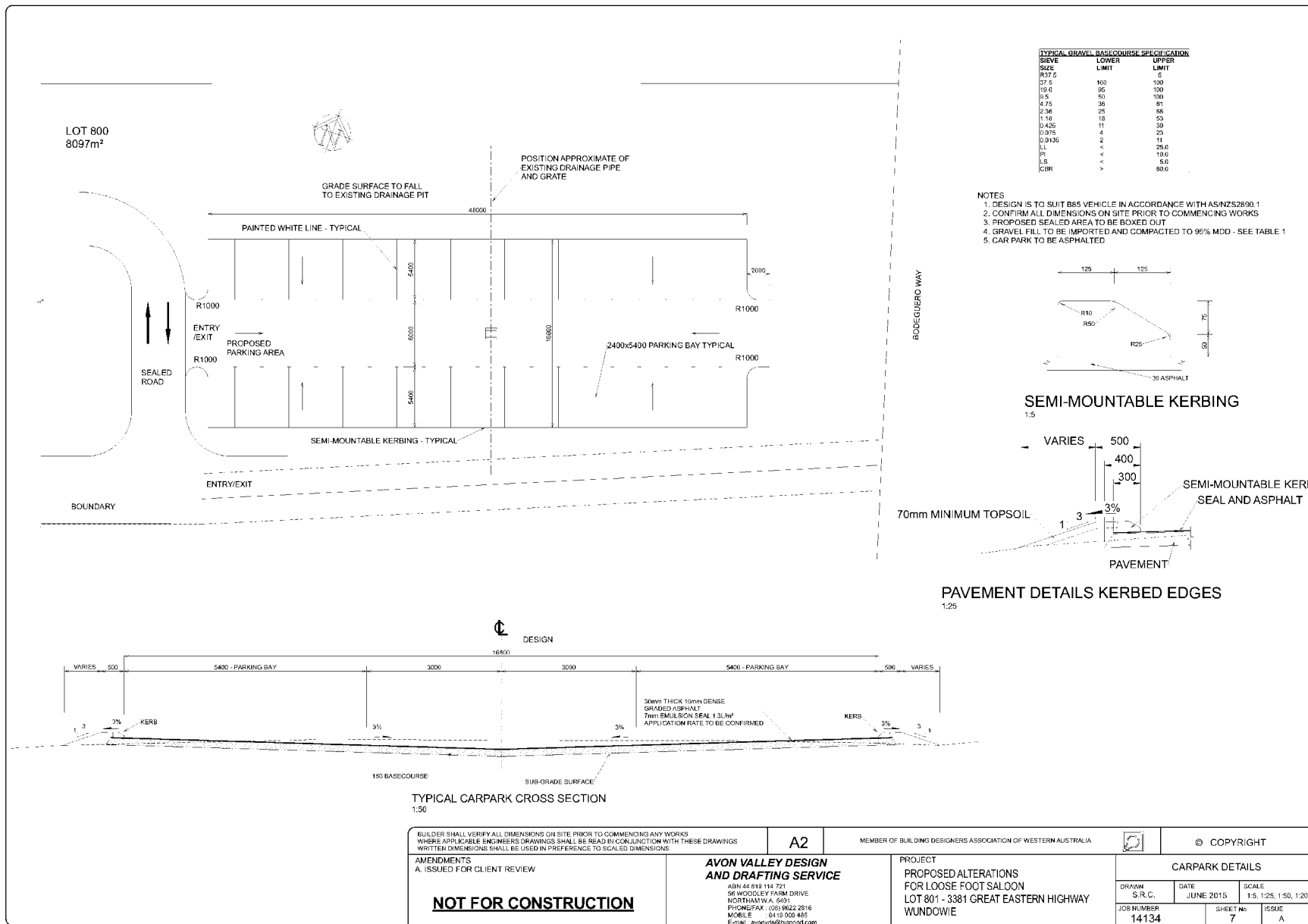
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SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015



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MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

ATTACHMENT 3 – PARKING DEMAND ANALYSIS

Appendix Three: Car Park Bays Required

Existing Data

Average Number of Sales Transactions (based on sales data for each Thursday over 8 week period):

= 145 transactions over 9 hour opening period

Assuming 75% of these transactions occur in busy period from 4:00pm to 9:00pm:

= 109 transactions over 5 hour period

= 22 transactions per hour

65% of these transactions are from "bar sales" (patrons inside venue as opposed to drive through)

= 14 transactions per hour

Assuming each patron makes 2 transactions each

= 14 divided by 2

= maximum average of 7 patrons per hour

This calculation is based on data for Thursdays, as this is currently the busiest day of the week for the venue due to the entertainment on offer. The 8 week period sampled occurred over August and September, the busiest months the venue has experienced to date. These data samples were selected to find customer numbers at the upper limit of the range.

Forecast Data

The forecast data has taken into consideration a catchment area from Northam to Mundaring, including Sawyers Valley and Wooroloo. The population numbers were obtained from the Australian Bureau of Statistics Census data (publicly available at www.abs.gov.au). The calculations that we have included are for Saturdays as we expect this to be the busiest trading day if meals are on offer. This figure is also calculated based on data for the peak period months of October to March.

Peak Period: Lunch from 12:00pm to 3:00pm, so a period of 3 hours

Meals served: 30 (approximately 4% of population in target "catchment area" plus 10%)

Meals served per hour: 10

Assuming patrons spend an average of 2 hours in venue

= 20 patrons on premise for food at a time

Patrons present for alcohol only during these hours: 2 (50% increase in current numbers)

Total patrons on site (average maximum per hour) = 22

SHIRE OF NORTHAM

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We surveyed customers currently attending Loosefoot Saloon regarding their transport arrangements and obtained the following results:

| Transport Mode | Proportion of Respondents (%) |
|-------------------------------|-------------------------------|
| Car - Single occupant | 3 |
| Car - 2 occupants | 34 |
| Car - 3 occupants | 22 |
| Car - 4 or more occupants | 9 |
| Motorcycle | 2 |
| Drop off/pick up (no parking) | 19 |
| Walk to/from venue | 11 |

Using this distribution, only 35% of patrons require a parking bay.

35% of 22 = 8

Staff requiring parking on site during these hours: 4

So maximum car park bays required for normal trading is 8 + 4

= Forecast maximum average of 12 car park bays required

To ensure that we have sufficiently catered for patron requirements, we also analysed a scenario involving a special "event", for example if a birthday party was held at the venue. Although no specific data is obtainable from our records, we have anecdotal evidence that on the busiest night the venue has ever experienced, approximately 70 patrons attended. Assuming that this increases by 40% with the addition of the kitchen, approximately 100 patrons (plus 4 staff) need to be considered.

Each week, management forecast customer numbers expected based on previous week sales, feedback from customers, and consideration of any events. Previously, when customer numbers were forecast to exceed 40, management would arrange a bus (hired from Shire of Northam) to provide a drop off and pick up service in surrounding areas. This bus ensures transport for 45 people. Should this application proceed, management intend to continue providing this service when customer numbers are forecast in excess of 85. That leaves approximately 60 patrons requiring alternative transport methods. Again, using the previous distribution, only 35% of these patrons would require a car park bay.

35% of 60 = 21

Plus 4 additional bays required for staff

= Maximum of 25 bays required for special events

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We have also allowed for a 10% error margin in our calculations.

10% of 25 = 2.5

Therefore, the upper limit of the expected error margin = 28 car park bays required

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Appendix One: Images of Derelict Structure



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Appendix Two: Images of Courtyard



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Cr R W Tinetti declared an "Impartiality" interest in item 13.2.3 - Application for a Change of Use - Private Recreation (Motorcycle Recreation Park) - Lot 471 Reserve 51213 Old Quarry Road, Northam as he is a member of the Northam District Motorcycle Club (Inc) and Club patron.

Cr D A Hughes declared an "Impartiality" interest in item 13.2.3 - Application for a Change of Use - Private Recreation (Motorcycle Recreation Park) - Lot 471 Reserve 51213 Old Quarry Road, Northam as his brother is a member of the Northam & District Motorcycle Club.

13.2.3 APPLICATION FOR A CHANGE OF USE - PRIVATE RECREATION (MOTORCYCLE RECREATION PARK) - LOT 471 RESERVE 51213 OLD QUARRY ROAD, NORTHAM

| | |
|--------------------|--|
| Name of Applicant: | Northam District Motorcycle Club Inc |
| Name of Owner: | Crown Land - Shire of Northam |
| File Ref: | A15887/P2146 |
| Officer: | Chadd Hunt / Kobus Nieuwoudt |
| Officer Interest: | Nil |
| Policy: | Local Planning Scheme No.6 Planning & Development Act 2005 Planning Regulations 2015 |
| Voting: | Simple Majority |
| Date: | 16 December 2015 |

PURPOSE

Council is requested to consider an application for a private recreation (motorcycle Recreation Park) and associated activities at Lot 471 Reserve 51213 Old Quarry Road, Northam (also known as the 'Commonage').

The application relates to the use of the land and the works associated with the establishment of the track only. The application is being referred to Council for consideration as the land is a reserve vested with the Shire of Northam. Should the applicant be granted planning approval, the applicant will seek to lease the portion of land subject to this application from the Shire which would be subject to a separate application process.

BACKGROUND

The applicant is the Northam District Motorcycle Club who have not had a permanent track for a number of years. The club previous occupied a track located on Mitchell Avenue, however due to noise issues associated with the encroaching urban development they were forced to close.

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The proposed motorcycle recreation park is located on a 13ha portion of Lot 471 Old Quarry Road as depicted in Appendix 1. The motorcycle recreation park consists of a single unsealed trail bike circuit and associated jumps, spectator viewing areas, car parking areas and provision for future club rooms, canteen and toilet facilities as shown on the indicative layout plan in Appendix 2.

Following liaison with Main Roads Western Australia, it was determined that a safe access point to the site could not be achieved from the Great Eastern Highway. It is proposed that visitors to the site will enter and exit via an unsealed access track that has access from the Old Quarry Road. The track is runs past the pound and through an unutilised eastern portion of the Northam Tip and across the Commonage land.

It should be noted that the majority of motorbikes be brought to the site on the back of utility vehicles or on trailers.

It is considered that an event approval permits for any events proposed at the motorbike recreation park would be required in addition to the land use approval.

STATUTORY REQUIREMENTS

LOCAL PLANNING SCHEME NO 6

Lot 471 Reserve 44700 Old Quarry Road, Northam is approximately 184 hectares and is zoned 'Reserve' under Local Planning Scheme No.6.

As the property is zoned as a Reserve, there are no specific land use classifications within the Scheme's zoning table. It is considered that the natural of the proposal would otherwise fall under the definition of a 'Private Recreation' land use. The Planning and Development (Local Planning Schemes) Regulations 2015 defines 'Recreation -Private' as follows:

"Recreation - private means premises that are -

- (a) Used for indoor and outdoor leisure, recreation or sport; and
- (b) Not usually open to the public without charge;

Schedule 2 Part 9 Clause 67 of the Planning and Development Regulations specifies matters to be considered by the Local Government when determining an application.

- (a) *the aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;*
- (d) *any environmental protection policy approved under the Environmental Protection Act 1986 section 31(d);*
- (j) *in the case of land reserved under this Scheme, the objectives for the reserve and the additional and permitted uses identified in this Scheme for the reserve;*

SHIRE OF NORTHAM
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- (m) *the compatibility of the development with its setting including the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;*
- (n) *the amenity of the locality including the following —*
 - (i) *environmental impacts of the development;*
 - (ii) *the character of the locality;*
 - (iii) *social impacts of the development;*
- (o) *the likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or the water resource;*
- (q) *the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire, soil erosion, land degradation or any other risk;*
- (r) *the suitability of the land for the development taking into account the possible risk to human health or safety;*
- (s) *the adequacy of —*
 - (i) *the proposed means of access to and egress from the site; and*
 - (ii) *arrangements for the loading, unloading, manoeuvring and parking of vehicles;*
- (t) *the amount of traffic likely to be generated by the development, particularly in relation to the capacity of the road system in the locality and the probable effect on traffic flow and safety;*
- (x) *the impact of the development on the community as a whole notwithstanding the impact of the development on particular individuals;*
- (y) *any submissions received on the application;*
- (za) *the comments or submissions received from any authority consulted under clause 66;*
- (zb) *any other planning consideration the local government considers appropriate.*

It is considered that the above points are applicable to this application which will be discussed in the Officer's Comment.

ENVIRONMENTAL PROTECTION AUTHORITY GUIDELINES

The Environmental Protection Authority (EPA) lists raceways for motor vehicles under its *Separation Distances between Industrial and Sensitive Land Uses Guidelines* (2005) as a land use that may potentially affect nearby sensitive land uses (including residential dwellings). The Guidelines advise that separate buffers should be considered by the local government on a case by case basis due to the potential for noise and dust impacts.

PUBLIC CONSULTATION

Due to the nature of the proposal, it was determined by Officers that the application be advertised for a period of 14 days in the following manner;

- Publication of a notice in the *Advocate* on 18th November 2015;

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- Publication of a notice on the Shire's website from 19th November 2015 until 2nd December 2015; and
- Notifying a total of 14 adjacent and nearby land owners in writing on 18th November 2015 and inviting comment.

No submissions were received during the public notification period.

CONFORMITY WITH COMMUNITY STRATEGIC PLAN / CORPORATE PLAN

OBJECTIVE C3: Provide active and passive recreation facilities and services

OBJECTIVE E2: Facilitate further development of regional tourism

There is an increasing need for an appropriately located site within the Shire where motor bike riders can undertake their activities in a location in which disturbances to residences is minimised.

The motor bike recreation park would likely attract visitors to the Shire who are also likely to visit other local activities supporting the growth of the regional tourism and events whilst also increasing the associated economic benefits that these visitors bring to the Shire.

BUDGET IMPLICATIONS

The total cost of the planning fees for this application was \$388.00 including the \$256.00 development application fee and \$132.00 advertising fee.

OFFICER'S COMMENT

Environmental Impact

The applicant is proposing to minimise impact upon the environmental value of the site, with the following strategies outlined in the indicative environmental management plan;

- There will be minimal clearing of native vegetation as the area in which the track is proposed has historically been cleared for agricultural use;
- Regular rubbish collection by the proponent;
- Refuelling is to take place in a designated area and;
- The use of rider and community education tools to promote environmental sustainability amongst its members.

It is considered that the proposal is consistent with the objectives for the rural zone and it would not have a detrimental effect upon the agricultural viability of the site.

Dust

It is considered that the motorbike activities will result in increased levels of dust which may affect neighbouring properties, if not managed effectively. The applicant has advised that their dust mitigation strategies include the use of track side watering as required and

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reliance on standard operating procedures (SOP's) for earthworks during race meeting and general track maintenance.

Should Council grant approval it is recommended that a condition be imposed requiring the applicant to prepare a formal dust management plans specifying how dust suppression techniques will be implemented.

Noise

The applicant has advised that they will mitigate noise in accordance with the Motorcycling Australia 2015 Manual of Motorsports section 15.19 which specifies that as of 2016, the maximum noise generated would be 112dB with a 2 db(A) allowance pre-race or event along with a +1 db(A) post-race for degradation during the race or event.

Location

It is considered that there is increasing demand for an appropriate venue in the Shire for people to ride their motorbikes without causing disturbances to nearby residents.

The site bordered by the rubbish tip to the north, commonwealth land used by the military to the west and agricultural land to the south and east comprising of the commonage where there are no residential dwellings. Aside from the Detention Centre, the nearest residence is located 1.2km from the site at Waterfall Avenue, Northam (off Mitchell Avenue).

Therefore, it is considered that the proposed site is appropriately located for the proposed use as there will be minimal noise and dust impacts that could affect a residential dwelling.

Bushfire & Safety

It is envisaged that the track will be designed in accordance with the relevant safety requirements stipulated by the relevant national or state body for motorsports. Due to the nature of the proposal, it is recommended that a condition be imposed requiring the applicant to prepare a formal risk and emergency management plan to ensure that any potential risks to public health and safety are addressed.

The risk management and emergency management plan generally cover details on site first aid, fire fighting equipment, evacuation procedures, and also note that the Motorcycle Recreation Park will operated outside of the peak bushfire season, between the months of March and October.

Future Facilities

It is envisaged by the applicant that once all necessary approval are in place, permanent facilities including directional and safety signage, safety barriers, toilets, canteen and clubrooms would be constructed on site as shown in the indicative site layout in Appendix 2. It should be noted that these facilities will be subject to a separate application.

Hours of Operation

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The applicant has advised that the hours of operation for the motorcycle recreation park is as follows;

- The Northam District Motor Cycle Club proposes to operate on Saturday and Sunday between 8:00am and 5:00pm during from March 1st to the 31st October each year.

Should Council grant approval Officers recommend that the applicant be required to keep an annual register detailing all operations on site, including the date and times in which they occurred, to be submitted to the Shire as a condition of approval.

Conclusion

It is considered that this land use has and could (subject to approval) operate as an ancillary activity to the surrounding primary 'Rural' land use in the area. In addition to this, this use supports Council's strategic objective of encouraging tourism uses on appropriate land within the Shire.

Should Council grant planning approval, appropriate conditions are recommended to be imposed to ensure that this application does not impact the existing rural amenity.

The motorcycle recreation park provides an opportunity for an appropriate place for club members to ride their motorbikes without causing disturbances to surrounding residences. The park also has the potential to attract new events and tourism opportunities that attracts visitors to the Shire on day trips who would also visit other local activities supporting the growth of the local tourist businesses and events whilst also increasing the associated economic benefits that these visitors bring to the Shire.

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2601

Moved: Cr Rumjantsev

Seconded: Cr Hughes

That Council grants Northam District Motorcycle Club development approval for a motorcycle track on a portion of Lot 471 on Reserve 44700 Old Quarry Road, Northam, generally in accordance with the plans that formed the subject of Appendix 1 and Appendix 2 of this report, subject to the following conditions:

Condition to be met within 2 months of approval

- 1. Northam District Motorcycle Club entering into an agreement with the local government to lease the subject land within two (2) months of this approval subject to:**

- 1.1 Approval by the Minister for Lands to change the purpose of the said portion of Lot 471 on Reserve 44700 Old Quarry Road, Northam from 'Commonage' purpose to 'Motorcycle Sport – Recreation' purpose;**

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- 1.2 Term of lease to be Ten (10) years plus the possibility of two five (5) years extensions; and
- 1.3 Northam District Motorcycle Club bearing all costs associated with drafting the lease agreement.

General Conditions

2. The development hereby permitted must substantially commence within two (2) years from the date of this decision letter.
3. This approval will expire and the use permitted by this approval must cease on or before the expiry of the lease agreement referred to in Condition 1.
4. Before the use and works start, amended plans to the satisfaction of the local government must be submitted to and approved by the local government. When approved, the plans will be endorsed by the CEO or the Executive Manager Development Services and will then form part of the approval. The plans must be drawn to scale with dimensions and two copies must be provided. The plans must be generally in accordance with the plans attached to the application but modified to show the following:
 - 4.1 Final track layout;
 - 4.2 Final location of clubrooms, toilets and timing area;
 - 4.3 Access road from Old Quarry road to the motorcycle track; and
 - 4.4 Final location of spectator barriers.
5. Vehicular access to the development hereby permitted shall be via Old Quarry Road only. There is to be no direct vehicular access from Great Eastern Highway.
6. Northam Motorcycle Club shall have at all times a current public liability insurance policy taken out in the joint names of the Club and the local government indemnifying the Club and the local government for a sum of not less than \$50,000,000 (Fifty Million Dollars) in respect of any one claim. The Club shall provide to the local government a copy of the policy within 14 days after issue.
7. The land use hereby permitted must operate in accordance with the requirements of the *Environmental (Noise) Protection Regulations 1997*.
8. The hours of operation of the land use hereby permitted shall be limited between 1st March and 31st October between the hours of 08:00 to 17:00 hours Saturday, Sunday and one weekday, excluding public holidays unless subject to a separate event approval obtained from the local government.

Conditions to be met prior to commencement of development

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9. Prior to the commencement of development, arrangements being made with the local government for the improvement of the access road to a suitable trafficable all weather standard.

10. Prior to occupation of the development, an operational management plan to the satisfaction of the local government shall be submitted to and approved by the local government. The plan shall address the following matters:

- Waste Management;
- Noise Management;
- Dust Management;
- Emergency Management;
- Risk Management; and
- Complaints handling.

Once approved, the operational management plan shall be implemented in its entirety.

11. Prior to commencement of development, all signage being submitted to and approved by the local government prior to installation.

Condition to be met if noise complaints received

12. In the event the local government receives complaints regarding noise, the Northam District Motorcycle Club shall commission an acoustics engineer agreed to by the local government to undertake, at the Club's full cost, a noise assessment of the operation of the motorcycle track indicating whether the development complies with condition 7 and, in the case of any noncompliance, what measures or works must be undertaken to achieve compliance. The acoustics engineer shall provide a copy of the report to the local government at the same time as providing the report to the Club. The local government shall make the report available for public inspection.

Conditions to be met prior to occupation of development

13. Prior to occupation of the development, provision shall be made for on-site car parking in accordance with Clause 5.13 of the *Shire of Northam Local Planning Scheme No.6* to accommodate a minimum of 200 vehicles at any given time.

14. Immediately upon completion of the development permitted by this approval, and prior to occupation of the development hereby permitted, Northam District Motorcycle Club must give written notice to the local government that, in their view, the development complies with all the requirements of this approval. The development must not be occupied until the local government has issued a statement in writing confirming that the development complies with this approval.

Conditions requiring ongoing compliance

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15. All trafficable areas shall be treated and maintained in a manner which prevents or minimalizes the generation of airborne dust on an ongoing basis to the satisfaction of the local government and in accordance with the approved operational management plan.

ADVICE NOTES:

NOTE: A 3.0 metre firebreak being maintained along the property boundaries at all times.

NOTE: An application for a public event approvals in accordance with the provisions of the Health Act 1911 may be required from the Shire of Northam prior to any events.

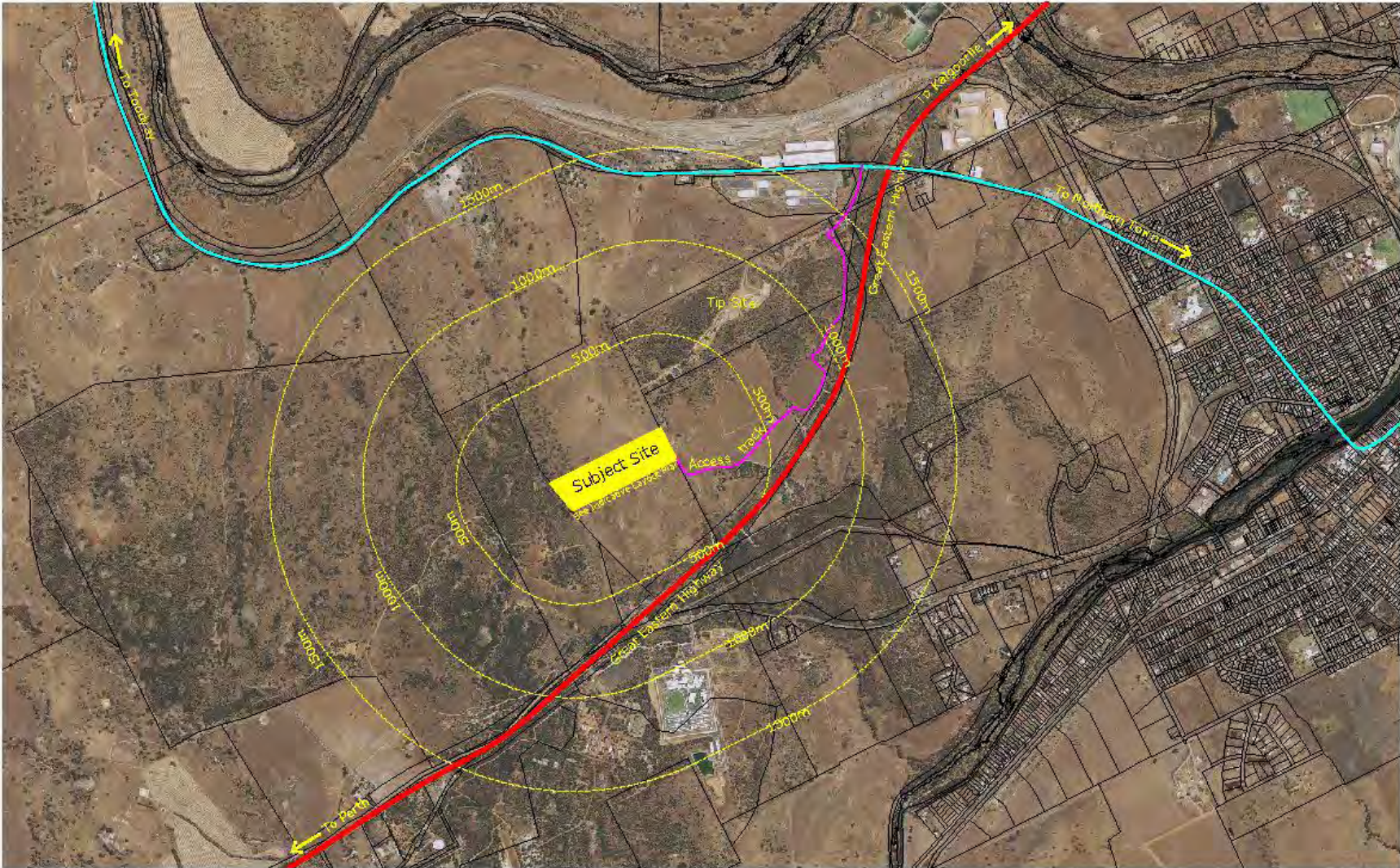
NOTE: Applications for septic tanks and effluent disposal systems are to be submitted to and approved by the Local Government's Health Department.

CARRIED 10/0

Three (3) members of the Gallery departed the Council Chambers at 5.56pm.

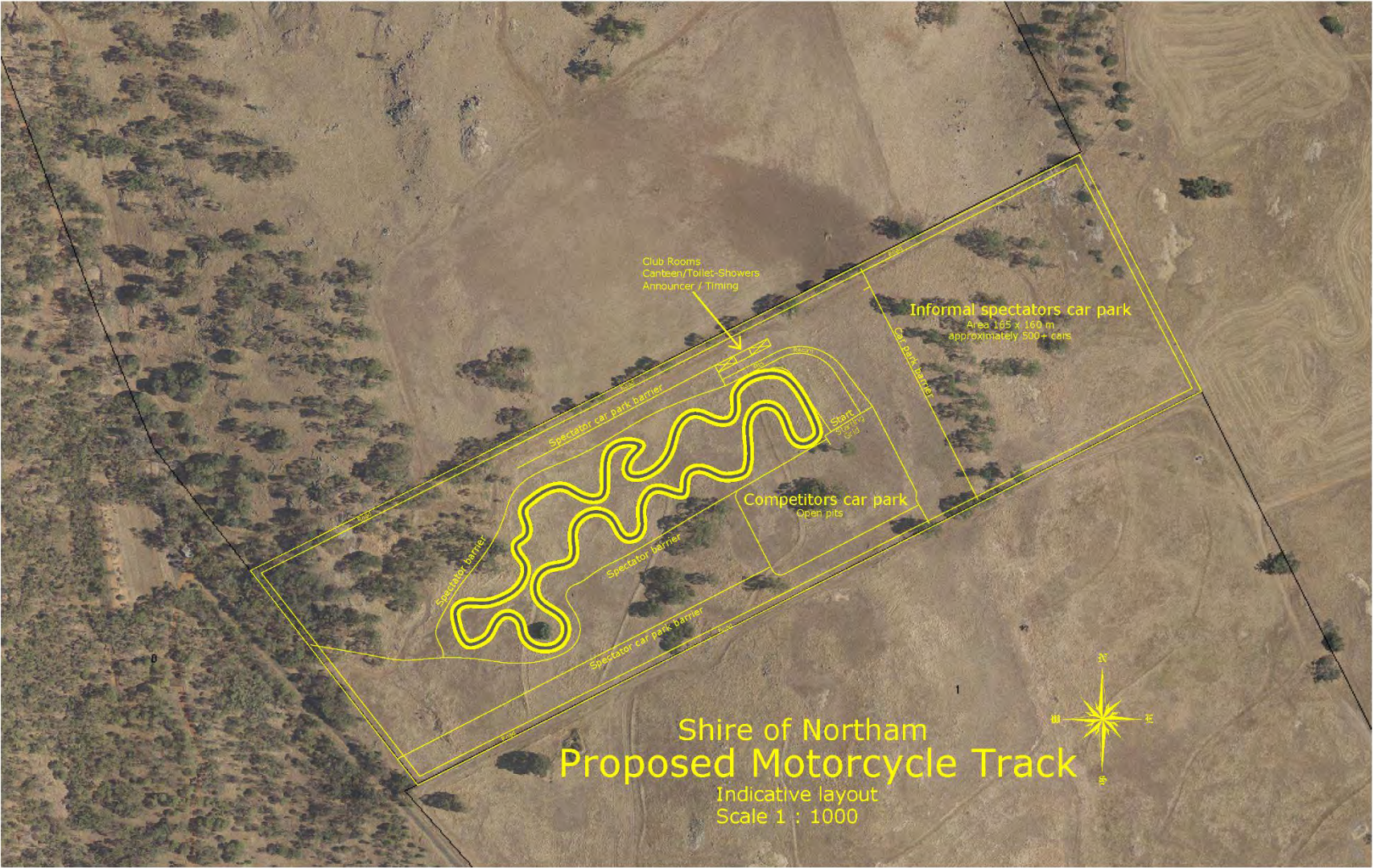
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APPENDIX 1



SHIRE OF NORTHAM
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APPENDIX 2



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The Shire President advised that the order of business would be adjusted with item 14 being brought forward due to the attendance of Gallery with an interest in the item.

Cr S B Pollard declared a "Financial" interest in item 14 - Elected Members Motions of Which Previous Notice Has Been Given as he supplies accounting services to Share & Care for which he receive fees.

Cr Pollard departed the Council Chambers at 6.01pm.

14. ELECTED MEMBERS MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

To revoke or change the following decision

| | |
|------------------|--------------------------------|
| Meeting / Date | 18 November 2015 |
| Agenda Item No | 13.2.2 |
| Agenda Item Name | Request to Waiver Tipping Fees |
| File Reference | 4.1.1.20 |
| Resolution No | C.2578 |

Notice is hereby given by the following

| | Councillor Name | Signature |
|----|-------------------|-----------|
| 1. | Cr Des Hughes | |
| 2. | Cr Ulo Rumjantsev | |
| 3. | Cr Chris Davidson | |
| 4. | Cr Chris Antonio | |

MOTION

Minute No: C.2602

Moved: Cr Hughes

Seconded: Cr Antonio

That Council revoke Minute No: C.2578 of the Council meeting held on 18 November 2015, relating to the request to waive tipping fees.

**CARRIED 7/2
BY ABSOLUTE MAJORITY**

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PROPOSED MOTION

That Council allow Share & Care, Home & Community Care, Silver Chain and the contractors working for those service providers to Shire of Northam residents, to dispose of green waste free of charge at all Shire of Northam landfill facilities.

OFFICERS COMMENTS

As a result of the discussions at the Shire of Northam full Council Briefing Session and the subsequent notes provided updating Council on the points considered relevant to this matter staff are recommending that for clarity and ease of implementation that the following be considered. While it is acknowledged this differs from the wording associated with the original notice of motion, it achieves the desired outcome. This 'recommendation' has been confirmed by Share and Care as a suitable outcome from their perspective;

RECOMMENDATION / MOTION

Moved: Cr Hughes
Seconded: Cr Davidson

- 1. That Council reaffirms its position that Share and Care and/or its contractors not be provided with free disposal of waste at Council Landfill facilities;**
- 2. Authorises the Chief Executive Officer to put a process in place to allow users of the Share and Care Service to utilise their 'tip passes' to enable Share and Care Authorised staff or contractors access to the Waste Disposal site.**

SUBSTANTIVE MOTION

Moved: Cr Beresford

That the motion lie on the table.

Lapsed for want of a seconder

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2603

Moved: Cr Hughes
Seconded: Cr Davidson

That Council;

- 1. Reaffirms its position that Share and Care and/or its contractors not be provided with free disposal of waste at Council Landfill facilities;**

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2. Authorises the Chief Executive Officer to put a process in place to allow users of the Share and Care Service to utilise their ‘tip passes’ to enable Share and Care Authorised staff or contractors access to the Waste Disposal site.

CARRIED 8/1

Cr Beresford voted against the motion.

Cr Pollard returned to the Council Chambers at 6.14pm.

Two (2) member of the Gallery departed the Council Chambers at 6.10pm.

13.2.4 PROPOSED ROAD NAME – LANEWAY 1, 4 AND 7, NORTHAM AND ENDORSEMENT OF ROAD NAME REGISTER

| | |
|--------------------|----------------------------|
| Name of Applicant: | N/A |
| Name of Owner: | Shire of Northam |
| File Ref: | 3.1.8.11 |
| Officer: | Chadd Hunt / Roy Djanegara |
| Officer Interest | Nil |
| Policy: | None |
| Voting: | Simple Majority |
| Date: | 1 December 2015 |

PURPOSE

For Council to consider endorsing road names for newly dedicated public roads as part of the Shire of Northam Laneway Strategy and the registered road names for future road naming in the Shire of Northam.

BACKGROUND

At the Ordinary Council Meeting held on 15 April 2015, Council resolved as follows under Item 13.2.4 - Proposed Road Name – Laneway 1, 4 And 7, Northam (Minute No. C.2418):

“That Council:

- 1. Advises the Geographic Names Committee that it supports the names “Lee Steere Lane”, “Julius Close”, “Sweeting Cove”, “Procter Alley” and “Woolhouse Lane” for the proposed new road names for Laneway 1, Laneway 4, Laneway 7 Section 1, Laneway 7 Section 2 and Laneway 7 section 3a respectively.*

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2. *Seeks public comment, including from the Northam & Districts Historical Society, on suggested road names for inclusion on a road names database for the future naming of roads in the Shire of Northam.*
3. *Request for the names Head (Ray Head), Antonio (David Antonio), Mciver (Ken Mciver) & Hawke (Burt Hawke) be included onto the road names database for the future naming of roads in the Shire of Northam”*

Shire officers have now actioned all of the above. The report on actions taken by officers is discussed under the ‘Officers Comment’ section of this report.

STATUTORY REQUIREMENTS

The Geographic Names Committee is the responsible authority for approving road names within Western Australia. It is usual practice that the relevant local authority recommends to the Committee the preferred road names with the reasoning behind the names.

The Shire of Northam maintains a “Proposed Road Name Register” which was commenced by the former Town of Northam. However, a new list of registered names is proposed.

CONFORMITY WITH STRATEGIC COMMUNITY PLAN / CORPORATE PLAN

OBJECTIVE R1: Provide and support an effective and efficient transportation network.

STRATEGY R1.2: Maintain an efficient, safe and quality local road network.

Road names are required to provide easy identification of the location of property addresses and to provide directions for emergency service providers and the public alike.

BUDGET IMPLICATIONS

There are no financial implications for the Shire of the recommendations of this report.

OFFICER’S COMMENT

Report on Actions taken by Shire officers:

| Part 1 of Council’s resolution | | |
|--|------------------------------------|-------------------------------|
| Staff subsequently referred to the Geographic Names Committee (GNC) Council’s preferred names for the subject laneways and, on May 4 th , 2015, the GNC advised the Shire that it is prepared to approve 4 of the 5 names forwarded to them as follows: | | |
| Laneway | Names proposed by the Shire | Suggested Names by GNC |
| 1 | Lee Steer Lane | Hillman Lane |
| 4 | Julius Close | Julius Lane |

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| | | |
|----|--|----------------|
| 7a | Sweeting Cove | Sweeting Lane |
| 7b | Procter Alley | Procter Alley |
| 7c | Woolhouse Lane | Woolhouse Lane |
| | With respect to "Lee Steer Lane" above, the GNC advised that the name was deemed unsuitable as the name would be inconsistent with both Parts 3.1.3 (<i>Pronunciation and use</i> – double-barrel names not permitted) and Part 8.4 (<i>Road Name Duplication</i> – the name would duplicate the street name "Steere Street" in the Shire of York and located within a radius of 50km) of the GNC's <i>Policies and Standards for Geographical Naming in Western Australia</i> publication. The GNC, for this reason, suggested *'Hillman Lane' is used instead. | |

Part 2 of Council's resolution

Following Council's resolution, staff wrote to the-

- Returned and Services League of Northam and Bakers Hill;
- Northam & Districts Historical Society; and
- Local historian Janice James

requesting suggested road names for inclusion on the Shire's road names database for future naming of roads.

No submissions were received from the Returned and Services League of Northam and Bakers Hill and the Northam & Districts Historical Society. Historian Janice James, however, submitted a list of proposed names to the Shire. Refer Appendix 1 – 'Register of Unused Street Names for the Future Naming of Roads in the Shire of Northam'.

In addition to the above, staff also placed an advertisement in *The Advocate* of 11th May 2015 inviting submissions for suggested road names for inclusion on the Shire's road names database until 29th June 2015. Four (4) submissions were received during the advertising period, proposing a total of 10 names for inclusion on the database. However, only 3 out of 10 names were found to be suitable for inclusion on the database.

Part 3 of Council's resolution

With respect to the four (4) names Council resolved to include on the database, officers advise that, with the exception of the name 'Mciver', none of the other names are currently eligible and/or suitable for inclusion.

Further consultation with the GNC revealed that the names 'Hawke' and 'Antonio' have already been used in the Shire of Northam, whereas the name 'Head' is currently not eligible for use because it would be inconsistent with Part 3.8.1 - Use of personal names of the GNC's guidelines. It is understood the late Ray Milne Head has not been deceased for at least two (2) years. In order to assign a name to commemorate an individual, the said individual has to have been deceased for at least two (2) years.

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2604

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Moved: Cr Rumjantsev

Seconded: Cr Hughes

That Council;

- 1. Advises the Geographic Names Committee that it supports the names “Hillman Lane”, “Julius Lane”, “Sweeting Lane”, “Procter Alley” and “Woolhouse Lane” for the proposed new road names for Laneway 1, Laneway 4, Laneway 7 Section 1, Laneway 7 Section 2 and Laneway 7 section 3a respectively.**
- 2. Supports the road names database for the future naming of roads in the Shire of Northam that formed the subject of Appendix 1 subject to endorsement of the names by the Geographic Names Committee.**

CARRIED 10/0

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**Register of Unused Street Names for the Future Naming of Roads in the
Shire of Northam**

| No | Names | Description | Contributor | Date Used | Location |
|----|--------------|-------------|-------------------|-----------|----------|
| 1 | Armstrong | | Jan James | | |
| 2 | Ashman | | Cr Ulo Rumjanstev | | |
| 3 | Bardon | | Cr Ulo Rumjanstev | | |
| 4 | Barker | | Cr Ulo Rumjanstev | | |
| 5 | Barndon | | Cr Ulo Rumjanstev | | |
| 6 | Beazley | | Jan James | | |
| 7 | Biddle | | Research | | |
| 8 | Blower | | Cr Ulo Rumjanstev | | |
| 9 | Brede | | Research | | |
| 10 | Connolly | | Jan James | | |
| 11 | Curphey | | Cr Ulo Rumjanstev | | |
| 12 | Dalwood | | Cr Ulo Rumjanstev | | |
| 13 | Delmage | | Jan James | | |
| 14 | Doherty | | Cr Ulo Rumjanstev | | |
| 15 | Dr. Aberdeen | Doctor | Jan James | | |
| 16 | Dr. Chester | Doctor | Jan James | | |
| 17 | Dr. Growse | Doctor | Jan James | | |
| 18 | Dr. Hodby | Doctor | Jan James | | |
| 19 | Dr. Holland | Doctor | Jan James | | |
| 20 | Dr. Hope | Doctor | Jan James | | |
| 21 | Dr. Hussey | Doctor | Jan James | | |

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**Register of Unused Street Names for the Future Naming of Roads in the
Shire of Northam**

| No | Names | Description | Contributor | Date Used | Location |
|----|-----------|-------------|-------------------------------|-----------|----------|
| 22 | Dr. Scott | Doctor | Jan James | | |
| 23 | Ennor | | Cr Ulo Rumjanstev | | |
| 24 | Evens | | Cr Ulo Rumjanstev | | |
| 25 | Finch | | Cr Ulo Rumjanstev | | |
| 26 | George | | Cr Ulo Rumjanstev | | |
| 27 | Gibbs | | Ms.Gibbs | | |
| 28 | Giblett | | Jan James | | |
| 29 | Gladman | | Cr Ulo Rumjanstev | | |
| 30 | Gwynne | | Cr Ulo Rumjanstev | | |
| 31 | Hargraves | | Cr Ulo Rumjanstev | | |
| 32 | Head | | Council resolution | | |
| 33 | Higgs | | Belle Moore | | |
| 34 | Hooley | | Jan James / Cr Ulo Rumjanstev | | |
| 35 | Hudson | | Cr Ulo Rumjanstev | | |
| 36 | Hughes | | Belle Moore | | |
| 37 | Jaeschke | | Cr Ulo Rumjanstev | | |
| 38 | Lee | | Belle Moore | | |
| 39 | Longmuir | | Belle Moore | | |
| 40 | Mann | | Cr Ulo Rumjanstev | | |
| 41 | Manson | | Cr Ulo Rumjanstev | | |

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**Register of Unused Street Names for the Future Naming of Roads in the
Shire of Northam**

| No | Names | Description | Contributor | Date Used | Location |
|----|-----------|-------------|----------------------|-----------|----------|
| 42 | Matthews | | Cr Ulo Rumjanstev | | |
| 43 | McGann | | Cr Ulo Rumjanstev | | |
| 44 | McIver | | Council's resolution | | |
| 45 | McPherson | | Cr Ulo Rumjanstev | | |
| 46 | Mead | | Belle Moore | | |
| 47 | Monger | | Jan James | | |
| 48 | Myers | | Cr Ulo Rumjanstev | | |
| 49 | Overton | | Mrs.Overton | | |
| 50 | Pallier | | Cr Ulo Rumjanstev | | |
| 51 | Phillips | | Jan James | | |
| 52 | Pumphrey | | Cr Ulo Rumjanstev | | |
| 53 | Riley | | Cr Ulo Rumjanstev | | |
| 54 | Rowe | | Cr Ulo Rumjanstev | | |
| 55 | Sanders | | Belle Moore | | |
| 56 | Sands | | Belle Moore | | |
| 57 | Southern | | Cr Ulo Rumjanstev | | |
| 58 | Spargo | | Cr Ulo Rumjanstev | | |
| 59 | Stephens | | Cr Ulo Rumjanstev | | |
| 60 | Stoneman | | Cr Ulo Rumjanstev | | |
| 61 | Towton | | Jan James | | |
| 62 | Tucker | | Cr Ulo Rumjanstev | | |

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**Register of Unused Street Names for the Future Naming of Roads in the
Shire of Northam**

| No | Names | Description | Contributor | Date Used | Location |
|-----------|--------------|--------------------|-------------------------|------------------|-----------------|
| 63 | Watson | | Jan James | | |
| 64 | Wilkerson | | Jan James / Belle Moore | | |
| 65 | Wilmot | | Belle Moore | | |
| 66 | Woods | | Cr Ulo Rumjanstev | | |
| 67 | Yaldyn | | Cr Ulo Rumjanstev | | |
| 68 | Yates | | Belle Moore | | |

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C Greenough departed the Council Chambers at 6.21pm.

13.2.5 SEA CONTAINER POLICY REVIEW

| | |
|--------------------|---|
| Name of Applicant: | N/A |
| Name of Owner: | N/A |
| File Ref: | 7.2.4.1 |
| Officer: | Chadd Hunt / Kobus Nieuwoudt |
| Officer Interest: | Nil |
| Policy: | <i>Local Planning Scheme No.6</i> <i>Planning & Development Act 2005</i> <i>Planning Regulations 2015</i> |
| Voting: | Simple Majority |
| Date: | 1 December 2015 |

PURPOSE

Council is asked to review Shire of Northam Local Planning Policy No.5 – Use of Sea Containers & Other Similar Storage Structures (the Policy).

It is recommended Council resolve to advertise the amended Policy for public comments.

BACKGROUND

Council adopted Local Planning Policy No.5 ‘Use of Sea Containers & Other Similar Storage Structures’ at its Ordinary Meeting held on 18th December 2013.

A copy of the Policy in its current guise is attached. Refer Appendix 1.

While the Policy has operated reasonably well since its adoption, officers have, however, identified a number of shortcomings that is required to be addressed. These generally relate to matters such as structure of the Policy, matters the Policy is currently silent on (sea containers exempted from development approval) and the general lack of guidance for officers when assessing development proposals for sea containers in the “Commercial”, “Mixed Use”, “Development” and “Tourist” zones or on Reserves.

The revised Policy (Appendix 2) seeks to address these and other issues in the following manner by:-

- Removing ambiguous statements and statements of a ‘general nature’ in the current Policy. For example, the current Policy states that the location of sea containers or other similar structures *will generally not be permitted in the “Commercial”, “Mixed Use”, “Development” and “Tourist” zones or on Reserves.* While the intent of that provision is understood, the current Policy doesn’t make it

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clear the matters/criteria officers are required to consider when assessing the application (refer Clause 5.4 of the Revised Policy). The revised Policy now addresses this issue by citing the criteria officers will consider as part of its assessment and determination.

- Changing the format of the Policy to improve readability, interpretation and implementation;
- Clarifying when sea containers and similar storage containers are exempted from Development Approval (Clause 2.3);
- Citing the relationship of the Policy to other Local Planning Policies (Clause 2.4);
- Improving the primary objectives of the Policy (Clause 3);
- Clarifying when applications for Development Approval for sea containers will be granted delegated Development Approval (Clause 4.1);
- Clarifying when applications for Development Approval for sea containers will require full Council approval (Clause 4.2);
- Including a statement that applications for Development Approval for sea containers are not permitted on any land zoned 'Residential' under Council's Local Planning Scheme No.6 (Clause 5.1);
- Including a statement that applications for Development Approval for sea containers in the Rural Residential and Rural Smallholding Zones will be granted temporary Development Approval only (Clause 5.2); and
- Including a statement that applications for Development Approval for sea containers in the Rural, General Industry and Light and Service Industry Zones will be granted full Development Approval subject to the matters listed subclauses 5.3.1 up to and including subclause 5.3.4 (Clause 5.4);

STATUTORY REQUIREMENTS

Statutory basis for preparation of local planning policies

Local Planning Policies are provided for in Part 2, Division 2, Clause 3 of Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* ('the Regulations'). Clause 3(1) states that a local government may prepare a local planning policy in respect of any matter relating to the planning and development of the Scheme area.

In accordance with clause 3(2) of the Regulations a local planning policy –

- (a) may apply generally or in respect of a particular class or classes of matters specified in the policy; and
- (b) may apply to the whole of the Scheme area or to part or parts of the Scheme area specified in the policy.

In accordance with clause 3(3) of the Regulations a local planning policy must be based on sound town planning principles and may address either strategic or operational considerations in relation to the matters to which the policy applies.

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Clause 3(4) of the Regulations gives the local government the ability to amend or repeal a local planning policy and clause 3(5) determines that the local government must have regard to each local planning policy to the extent that the policy is consistent with the Scheme.

Procedure for making local planning policy

If a local government resolves to prepare a local planning policy, the local government must follow the procedure under clause 4(1) up to and including clause 4(6) of the Regulations as follows:

- “(1) If the local government resolves to prepare a local planning policy the local government must, unless the Commission otherwise agrees, advertise the proposed policy as follows —*
- (a) publish a notice of the proposed policy in a newspaper circulating in the Scheme area, giving details of —
 - (i) the subject and nature of the proposed policy; and*
 - (ii) the objectives of the proposed policy; and*
 - (iii) where the proposed policy may be inspected; and*
 - (iv) to whom, in what form and during what period submissions in relation to the proposed policy may be made;**
 - (b) if, in the opinion of the local government, the policy is inconsistent with any State planning policy, give notice of the proposed policy to the Commission;*
 - (c) give notice of the proposed policy in any other way and carry out any other consultation the local government considers appropriate.*
- (2) The period for making submissions in relation to a local planning policy must not be less than a period of 21 days commencing on the day on which the notice of the policy is published under subclause (1)(a).*
- (3) After the expiry of the period within which submissions may be made, the local government must —*
- (a) review the proposed policy in the light of any submissions made; and*
 - (b) resolve to —
 - (i) proceed with the policy without modification; or*
 - (ii) proceed with the policy with modification; or*
 - (iii) not to proceed with the policy.**
- (4) If the local government resolves to proceed with the policy, the local government must publish notice of the policy in a newspaper circulating in the Scheme area.*
- (5) A policy has effect on publication of a notice under subclause (4).*

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- (6) *The local government —*
- (a) *must ensure that an up-to-date copy of each local planning policy made under this Scheme is kept and made available for public inspection during business hours at the offices of the local government; and*
 - (b) *may publish a copy of each of those local planning policies on the website of the local government.”*

Should Council resolve to adopt the draft Policy for advertising, subclause 4(1)(a) will be undertaken in late December and early January 2016, with the matter returned to Council for consideration of subclause 4(3) of the Regulations at the January 2016 Ordinary Meeting.

CONFORMITY WITH COMMUNITY STRATEGIC PLAN / CORPORATE PLAN

The following objectives in the Shire’s Strategic Community Plan has a bearing on this proposal:

OBJECTIVE P2: Accessible and legible communities.

BUDGET IMPLICATIONS

There will be approximately \$300 of advertising costs.

OFFICER’S COMMENT

The revised Policy has been designed to improve readability, interpretation and implementation. It is considered the revised Policy is an improvement over the current Policy and will improve decision-making, resulting in better outcomes for the Shire.

It is recommended Council resolves to adopt Shire of Northam Local Planning Policy No.5 – Use of Sea Containers & Other Similar Storage Structures for the purpose of advertising. The current Policy will remain effective until Council has resolved to adopt the revised Policy.

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MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2605

Moved: Cr Hughes

Seconded: Cr Proud

That Council adopt for advertising revised Local Planning Policy No.5 'Use of Sea Containers & Other Similar Storage Structures' under Part 2, Division 2, subclause 4(1)(a) of Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* in accordance with the document that formed the subject of Appendix 2 of this report.

CARRIED 10/0

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ATTACHMENT 1



Shire of Northam Policy Manual - LPP 5 - Use of Sea Containers & Other Similar Storage Structures

LOCAL PLANNING POLICY

| | |
|-----------------|--|
| POLICY NO: | LPP 5 |
| POLICY SUBJECT: | USE OF SEA CONTAINERS & OTHER SIMILAR STORAGE STRUCTURES |
| ADOPTION DATE: | 18 December 2013 |
| LAST REVIEW: | 17 April 2013 |

OBJECTIVES

The primary objectives are to:

- (a) To provide guidelines for the placement, use, size and construction of sea containers or other similar storage structures.
- (b) To maintain a high level of visual amenity in the areas in which the sea containers will be located.

DEFINITIONS

The following are definitions that may be used as part of this policy in addition to the definitions included in Local Planning Scheme No 6:

“Building Envelope” means an area of land within a lot marked on a plan approved by the responsible authority within which all buildings and effluent disposal facilities on the lot must be contained.

“Council” means the elected members of the Shire.

“Dwelling” means a building or portion of a building being used, adapted, or designed or intended to be used for the purpose of human habitation on a permanent basis by a single person, a single family, or no more than six persons who do not comprise a single family.

“Donga” means a transportable building typically utilised as workers’ accommodation throughout the mining industry and/or utilised as site offices and/or has the general appearance of mine site accommodation.

“LPS 6” means Local Planning Scheme No 6.

“Other similar storage structure” is a prefabricated structure with a flat roof, regular in shape and is capable of being transported (includes a donga and a railway carriage).

“Residential Design Codes” or **“RDC”** means State Planning Policy 3.1 issued by the Department of Planning.

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“**Scheme**” means Local Planning Scheme No 6.

“**Sea Container**” means a large metal container originally manufactured to carry goods on a sea vessel.

“**Setback**” means the distance from boundaries as defined in Local Planning Scheme No 6 or the Residential Design Codes.

“**Shire**” means the Shire of Northam.

STATUTORY POWERS

This Local Planning Policy is made pursuant to clause 2.2 of the Shire's Local Planning Scheme No 6.

POLICY STATEMENT

The location of sea containers and other similar structures within the Shire is regarded as development and will require planning approval.

All applicants will also be required to obtain a Building Permit.

For the purposes of assessment and approval, the local government will classify a sea container or other similar relocatable storage units as an outbuilding ancillary to the approved use of the land.

No sea container or other similar structure is permitted to be used for human habitation.

There will be no sea containers or other similar structures permitted in “Residential” zoned land within the Shire area. Sea containers and other similar structures used for temporary storage during the conduct of building works will be exempt from this requirement, provided that the following criteria are achieved:

1. The structure is only being used for the secure storage of materials, plant, machinery or building equipment on a building site.
2. The building site has a current building permit and, when necessary, planning approval.
3. Construction works are actively being undertaken on the site and do not lapse for any period greater than 30 days.
4. The structure does not impact on pedestrian or vehicle movements in any way or obstruct vehicle sight lines.

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5. The structure may not be permitted on the building site for a period longer than 6 months, unless specific approval from the Shire is obtained.
6. The structure is removed from the building site at the completion of the building works.

One smaller sea container (6m or less) or other similar structure may be temporarily or permanently used for storage on a property located in the "Rural Residential" and "Rural Smallholdings" zones subject, but not limited, to the following conditions:

- (a) The sea container or other similar structure shall be located to the rear of the dwelling and, in any event, within the allocated building envelope and shall not be visible from the street;
- (b) The sea container or other similar structure shall be located to be compliant with setbacks under the Scheme;
- (c) The sea container or other similar structure shall be fitted with doors and/or windows that can be opened from inside to ensure safety of users;
- (d) The sea container or other similar structure shall be painted to match the colour of the house and/or outbuilding and/or surrounding landscape;
- (e) The sea container or other similar structure shall not to be located over septic tanks, leach drains, utilities or easements;
- (f) That applicants shall obtain the written consent of surrounding landowners;
- (g) That the sea container or other similar structure shall be landscaped to screen it from surrounding landowners; and
- (h) That if the sea container or other similar structure falls into disrepair and/or becomes unsightly, the Shire will require its removal.

One larger sea container (up to 12m) or other similar structure may be used for temporary or permanent storage only on a property in the "General Industry", "Light and Service Industry" and "Rural" zones with the Shire's approval subject to, but not limited to, the following conditions:

- (a) The sea container or other similar structure shall be located to the rear of buildings and that it is not prominently visible from the street;
- (b) The sea container or other similar structure shall be located to be compliant with setbacks under the Scheme;

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Shire of Northam Policy Manual - LPP 5 - Use of Sea
Containers & Other Similar Storage Structures

- (c) The sea container or other similar structure shall be able to be opened from inside to ensure safety of users;
- (d) The sea container or other similar structure shall be painted to match the buildings on the lot;
- (e) The sea container or other similar structure shall not be located over septic tanks, leach drains or utilities;
- (f) The sea container or other similar structure obtain the written consent of the surrounding landowners; and
- (g) That if the sea container or other similar structure falls into disrepair and/or becomes unsightly, the Shire will require its removal.

Sea containers or other similar structures will generally not be permitted in the "Commercial", "Mixed Use", "Development" and "Tourist" zones or on Reserves (including road reserves).

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ATTACHMENT 2

Shire of Northam Local Planning Scheme No.6
Local Planning Policy No.5 – Use and Control of Sea Containers and Similar Storage Containers



LOCAL PLANNING SCHEME NO.6

LOCAL PLANNING POLICY NO.5

‘Use and Control of Sea Containers and Similar Storage Containers’

1. PRELIMINARY

1.1 Authority to prepare and adopt a Local Planning Policy

Schedule 2, Part 2, clause 3(1) of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) allows Council to prepare a Local Planning Policy in respect of any matter related to the planning and development of the Shire’s Local Planning Scheme No.6 (the Scheme) area.

This policy will be made effective once Council has completed the process stipulated in clause 4(1) up to and including clause 4(4) of the Regulations.

1.2 Relationship of this Policy to the Scheme

If a provision of this Policy is inconsistent with the Scheme, the Scheme prevails.

This Local Planning Policy is not part of the Scheme and does not bind Council in respect of any application for development approval. However, Council shall have due regard to the provisions of the Policy and the objectives which the Policy is designed to achieve before making its determination.

2. APPLICATION OF THE POLICY

2.1 Purpose

The purpose of this Local Planning Policy is to guide and control the use of sea containers and other similar storage containers.

2.2 Application

This policy applies to all zoned land in the whole district of the Shire of Northam.

2.3 Exemptions

This Policy does not apply to sea containers and similar storage containers located on Crown Reserves and road reserves.

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Shire of Northam Local Planning Scheme No.6

Local Planning Policy No.5 – Use and Control of Sea Containers and Similar Storage Containers

2.3.1 Building and Subdivisional Work - Sea containers and other similar storage containers located on private land used for temporary storage during the conduct of building works are exempted on the proviso that:

- Building construction must commence prior to bringing a sea container or other similar storage container onto the premises;
- The sea container or other similar storage container must be located on the land in accordance with Scheme setback requirements.
- The sea container or other similar storage container must be removed once the building works are complete; and
- The sea container or other similar storage container must be sited to avoid any impacts on surrounding neighbours and the amenity of the area.

Note - Under Section 64 of the *Building Regulations 2012*, builders may apply for a verge licence when carrying out building and/or demolition works. In order to gain approval to use the verge, a Verge Permit Application form must be submitted to the local government and approved with a site plan indicating the exact location of the sea container or other similar storage container.

2.3.2 Delivery and Collection of Goods - The local government may exempt a sea container or other similar storage container from requiring Development Approval where the sea container is used for temporary purposes for up to seven days associated with the delivery and collection of goods directly related to the approved use of a property. The sea container or other similar storage container must be located on the private property and cannot be located within a road reserve.

2.3.3 Revocation of Exemptions - The local government may revoke its exemption for a landowner using a sea container or similar storage container if the local government considers the temporary use has –

- extended beyond a reasonable period of time; or
- the sea container / similar storage container is adversely impacting the amenity of an area and/or for any other reasons considered relevant by the local government.

In these cases, the local government may require either Development Approval for the sea container / similar storage container be sought by the landowner/contractor, or immediate removal of the sea container or other similar storage container from the premises.

If the sea container or other similar storage container is not removed the local government can issue a Planning Infringement Notice (PIN) or commence prosecution for illegal development under the *Planning and Development Act 2005* and LPS6, or issue a Direction Notice.

2.4 Relationship of this Policy to other Local Planning Policies

This Policy is to be read in conjunction with the following Local Planning Policies:

- Local Planning Policy No.1 'Outbuildings';
- Local Planning Policy No.2 'Site Construction, General Development and Subdivision Guidelines';

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Local Planning Policy No.5 – Use and Control of Sea Containers and Similar Storage Containers

- Local Planning Policy No.19 'Residential Design Guidelines for the Rural Residential and Rural Smallholding Zones'.

3. POLICY OBJECTIVES

The primary objectives of this Policy are to –

- To ensure an acceptable quality of development is achieved that does not detrimentally affect the amenity and streetscape of the locality; and
- Establish guidelines for the placement of sea containers or other similar storage containers on land within the district of the Shire of Northam.

4. APPROVAL REQUIREMENTS

4.1 Delegated Development Approval

Clause 5.23 of the Scheme require the local government's Development Approval to relocate any sea containers to any lot.

Where a sea container / similar storage container is proposed that meets the requirements of this Policy, it will be granted Development Approval by Council's Chief Executive Officer or Council's Executive Manager Development Services under Delegated Authority from Council.

An Application for Development Approval is required to be lodged in accordance with Council's requirements and the scheduled fee paid.

Council's Chief Executive Officer or the Executive Manager Development Services may place conditions on the approval to ensure relevant provisions of this Policy are met by the development.

In considering an Application for Development Approval, the local government will consider the proposed location and condition of the sea container / similar storage container against the following criteria:

- The scale and bulk of existing buildings on the property to reduce the visual impact of the sea container or similar storage structure;
- The location of the sea container / similar storage container on the property and the ability of existing buildings, fencing and landscaping to reduce the visual impact of the sea container or other similar storage structure; and
- Ensuring the sea container / similar storage structure does not lead to a detrimental impact on the character or visual amenity of the locality.

Approval of the Development Approval application will be required prior to issue of a Building Permit and on-site works commencing.

4.2 Full Council Development Approval required for all other proposals

Where a sea container / other similar storage container is proposed that does not meet one or more requirements of this Policy, the application will require the approval of full Council. An Application for Development Approval is required to be lodged in accordance with Council's requirements and the scheduled fee paid. A written justification of the variation to the Policy sought is required to be lodged for consideration together with the Application.

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Local Planning Policy No.5 – Use and Control of Sea Containers and Similar Storage Containers

Where Council considers the proposed variation will adversely impact on the amenity of the locality and adjoining properties, it may place conditions on the approval to ensure the development complies with this Policy or refuse the application outright.

Approval of the application by full Council will be required prior to issue of a Building Permit and on-site works commencing.

4.3 Need for a Building Permit

A **Building Permit is required to be sought and issued for any structures prior to on-site works commencing**. Building Permit fees and levies are payable in accordance with the current Shire of Northam Fees and Charges.

5. **POLICY MEASURES**

5.1 Residential Zone

Sea containers and similar storage containers are **not** permitted on any land zoned 'Residential' by Shire of Northam Local Planning Scheme No.6.

5.2 Rural Residential and Rural Smallholding Zones

The local government may grant **Temporary** Development Approval for a **period of up to 12 months** for the use of sea containers and similar storage containers on any land zoned 'Rural Residential' or 'Rural Smallholding' subject to the following conditions:

5.2.1 A maximum of one (1) sea container up to **6m** in length per property;

5.2.2 The sea container or other similar storage container to be located in accordance with the boundary setback and building envelope provisions for outbuildings for the particular property;

5.2.3 The sea container or other similar storage container shall not be located in front of the building setback and shall be screened from view of the street, including secondary streets and adjoining properties;

5.2.4 The sea container or other similar storage container shall be painted in a colour that is similar to or complementary to the colour of existing buildings on the property; and

5.2.5 The sea container or other similar storage container to be used for domestic storage purposes only.

5.3 Rural Zone, General Industry and Light and Service Industry Zones

The local government may grant Development Approval for the use of sea containers and other similar storage containers on any land zoned 'Rural' subject to the following conditions:

5.3.1 A maximum of one (1) sea container or other similar storage container up to **12m** in length per property;

5.3.2 The sea container shall not be between the building and the street boundary and shall be screened from view of the street, including secondary streets and adjoining properties;

5.3.3 The sea container or other similar storage container to be located in accordance with the boundary setback provisions for outbuildings for the particular property; and

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5.3.4 The sea container or other similar storage container shall be painted in a colour that is similar to or complementary to the colour of existing buildings on the property.

5.4 Commercial, Mixed Use and Tourism Zones

In order to protect the visual amenity and streetscape of the locality, there is a general presumption against the use and location of sea containers and other similar storage containers on land zoned 'Commercial', 'Mixed Use' and 'Tourist'.

Sea containers and similar storage containers will generally not be permitted in these zones except where it can clearly be demonstrated, to the satisfaction of the local government, that –

- the need for a sea container or other similar storage container on the property is absolutely necessary; and
- the sea container will be used in association with the approved commercial enterprise on the property; and
- the sea container will not be detrimental to the visual amenity and streetscape of the locality.

In such cases the local government may grant Temporary Development Approval for a period of up to 12 months subject to the following conditions:

5.4.1 A maximum of one (1) sea container or other similar storage container up to 12m in length per property;

5.4.2 The sea container or other similar storage container is to be used in association with the approved commercial enterprise on the property. Sea containers for domestic storage associated with a residential use is not permitted;

5.4.3 The sea container or other similar storage container shall not be located in front of the building setback and shall be screened from view of the street, including secondary streets and adjoining properties;

5.4.4 Development Approval will be issued for a period of up to 12 months only. Should the sea container or other similar storage container be required after this date, the landowner is to seek a new Development Approval. The local government will consider the granting of a new approval in the light of the prevailing legislative environment and the appropriateness of the sea container or other similar storage container to remain in use on the site; and

5.4.5 The sea container or other similar storage container shall be painted in a colour that is similar to or complementary to the colour of existing buildings on the property.

| | |
|------------------------|-------------------------|
| <i>Date Adopted:</i> | <i>18 December 2013</i> |
| <i>Date Effective:</i> | |
| <i>Date Reviewed:</i> | <i>16 December 2015</i> |
| <i>Next Review:</i> | |

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13.2.6 RFT 21 OF 2015 – INKPEN FIRE SERVICES BUILDING

| | |
|--------------------|-------------------------------|
| Name of Applicant: | Internal Report |
| Name of Owner: | N/A |
| File Ref: | 5.1.4.4 |
| Officer: | Chadd Hunt |
| Officer Interest: | Nil |
| Policy: | F3.2 Purchasing and Tendering |
| Voting: | Absolute Majority |
| Date: | 16 December 2015 |

PURPOSE

For Council to approve the purchase of the supply and construction of the Inkpen Fire Services Building, as per tenders received within budget.

BACKGROUND

Request for tenders were advertised on the 7th November 2015 in the West Australian. The tender closed on 24 November 2015.

Tenderers were invited to provide a fixed price contract for the supply and construction of the Inkpen Fire Services Building.

Works and services to be completed under contract(s) will be for:

Inkpen Fire Services Building, Supply and Construction as per the specifications supplied in the tender document.

Employee's present at the tender opening were the:
Executive Manager of Development Services, Building and Project Supervisor and the Contract Administration Officer.

Tenders were independently assessed by the:
Executive Manager of Development Services and the Building and Project Supervisor, with an average score determined for assessment.

STATUTORY REQUIREMENTS

Section 3.57 of the Local Government Act 1995;

Local Government (Functions & General) Regulations 1996 prescribe the manner in which Tenders are to be assessed.

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In addition to the above, Council has an adopted Policy with respect to Regional Price Preference as set out below:

“F 3.4 Regional Price Preference

Policy: *Council’s Regional Price Preference for locally produced goods and services will apply to all goods and services for which tenders are let, unless the Shire of Northam determines otherwise, and is to be:*

Up to 10% with the contract is for goods and services, up to a maximum priced reduction of \$50,000.”

This policy has been applied within the tender assessment process.

CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN

OBJECTIVE: Provide services and processes to enhance public safety.

STRATEGY: Provide, monitor and improve adequate bush fire protection provisions.

FINANCIAL IMPLICATIONS

The work to be performed is identified in the 2015/16 budget for a budgeted sum of \$280,851 which includes earthworks and infrastructure provision not included within the tender. Should the recommended tender be successful the entire project should be delivered within the overall budget.

OFFICER’S COMMENT

The assessment panel consisted of;

1. Chadd Hunt Executive Manager of Development Services
2. Nathan Gough Building and Project Supervisor

There were five (2) submissions received for the advertised Tender, these included:

1. Wheatbelt Steel
2. T & R Homes

These submissions were assessed against the following pre-determined criteria’s:

Compliance Criteria

- Compliance with the conditions in the request;
- Compliance with Specification;
- Financial capacity to perform the works;
- Intent to Sub-Contract;

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- Declare any conflict of interest;
- Quality assurance;
- Occupational Health and Safety requirements;
- Insurance coverage;

Qualitative Criteria (Scored)

- | | |
|------------------------------|-----|
| • Pricing | 50% |
| • Relevant Experience | 20% |
| • Timeliness of Delivery | 10% |
| • Safety and Risk Management | 10% |
| • Tenderers Resources | 10% |

The assessment determined that both companies were reputable builders with the experience and the resources to supply a quality product.

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2606

Moved: Cr Little

Seconded: Cr Antonio

That Council, award RFT 21 of 2015, supply and construction of Inkpen Fire Services Building to Wheatbelt Steel for the tendered price of \$217,774 (ex GST).

CARRIED 10/0

C Wynn departed the Council Chambers at 6.24pm.

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13.2.7 NORTHAM RECREATION CENTRE AIR-CONDITIONING FEASIBILITY

| | |
|--------------------|-----------------|
| Name of Applicant: | Internal |
| Name of Owner: | N/A |
| File Ref: | |
| Officer: | Chadd Hunt |
| Officer Interest: | Nil |
| Policy: | Nil |
| Voting: | Simple Majority |
| Date: | 1 December 2015 |

PURPOSE

This report has been prepared to provide Council with options regarding the air-conditioning project for the Northam Recreation Centre.

BACKGROUND

As part of the 2015/16 Budget deliberations Council has included an allocation of \$500,000 for air-conditioning the sports hall of the Northam Recreation Centre. This followed an initial recommendation in the budget to allocate funding of \$350,000 for a mid-level evaporative air-conditioning option.

An initial assessment was undertaken by Tim Franklin Engineers which investigated 3 options for air-conditioning being –

1. High Volume Low Speed Fans (HVLS)
2. Evaporative Cooling
3. Refrigerated Air-conditioning

The report included some indicative capital costs however had limited information on the option of Indirect Evaporative Cooling or annual operating costs and life cycle costing. The recommended option of a mid-level evaporative air-conditioning option was included in the initial budget request as mentioned above.

Subsequent to the budget allocation staff have engaged a further report including the estimated benefits of the four options (including indirect evaporative cooling) and the operational and life cycle costings. A copy of this report is attached to the Agenda.

STATUTORY REQUIREMENTS

Nil.

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PUBLIC CONSULTATION

Nil.

CONFORMITY WITH COMMUNITY STRATEGIC PLAN

STRATEGY C3.1: Develop, maintain and support appropriate recreation facilities throughout the Shire

BUDGET IMPLICATIONS

As indicated above Council has allocated \$500,000 in the 2015/16 Budget for this project. If the recommendations included within the report are endorsed by Council additional funding will need to be included for completing this project.

OFFICER'S COMMENT

The current report has investigated five options for the cooling of the Recreation Centre being –

- Air-conditioning (AC)
- Evaporative Cooling (EC)
- Indirect Evaporative Cooling (IEC)
- HVLS Fans
- EC and HVLS Fans

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The table below summarises the findings of the latest report.

NORTHAM RECREATION CENTRE COMFORT COOLING OPTIONS

| | Airconditioning | Evap Cooling | Indirect Evap Cooling | HVLS Fans | EC + HVLS |
|--------------------------|----------------------------|----------------------------------|----------------------------------|---------------------|----------------------------------|
| Conditions | | | | | |
| Ambient (°CDB/RH) | 40.0/35% | 40.0/35% | 40.0/35% | 40.0/35% | 40.0/35% |
| Internal (°CDB/RH) | 27.0/55% | 31.0/75% | 36.5/43% | 40.0/35% | 31.0/75% |
| Air Velocity (m/s) | 0.5 | 1.5 | 1.0 | 3.0 | 3.0 |
| Effective Temp (°CDB) | 27.6 | 30.6 | 31.8 | 32.5 | 29.5 |
| Capital Costs | | | | | |
| Mechanical | \$480,000.00 | \$290,000.00 | \$500,000.00 | \$125,000.00 | \$400,000.00 |
| Electrical | \$5,000.00 | \$5,000.00 | \$5,000.00 | \$3,000.00 | \$5,000.00 |
| Hydraulic | \$3,000.00 | \$10,000.00 | \$15,000.00 | \$0.00 | \$10,000.00 |
| Building Works | \$175,000.00 | \$50,000.00 | \$50,000.00 | \$0.00 | \$50,000.00 |
| Total | \$663,000.00 | \$355,000.00 | \$570,000.00 | \$128,000.00 | \$465,000.00 |
| Procurement Costs | | | | | |
| Project Mgt | \$25,000.00 | \$20,000.00 | \$25,000.00 | \$10,000.00 | \$25,000.00 |
| Architect | \$15,000.00 | \$15,000.00 | \$15,000.00 | \$0.00 | \$15,000.00 |
| Mech Consultant | \$50,000.00 | \$35,000.00 | \$45,000.00 | \$15,000.00 | \$40,000.00 |
| Structural Consult | \$20,000.00 | \$20,000.00 | \$20,000.00 | \$0.00 | \$20,000.00 |
| Total | \$110,000.00 | \$90,000.00 | \$105,000.00 | \$25,000.00 | \$100,000.00 |
| Recurrent Costs | | | | | |
| Energy | \$22,000.00 | \$6,500.00 | \$11,000.00 | \$3,000.00 | \$6,500.00 |
| Maint | \$6,500.00 | \$4,000.00 | \$6,000.00 | \$1,000.00 | \$5,000.00 |
| Life Cycle | | | | | |
| Years | 20 | 10 | 10 | 20 | |
| Replacement Cost | \$200,000.00 | \$110,000.00 | \$300,000.00 | \$100,000.00 | |
| Power | | | | | |
| Amps | 150 | 40 | 60 | 10 | 50 |
| Availability | Yes | Yes | Yes | Yes | Yes |
| Building Works | | | | | |
| Structural | AC unit platforms + access | EC unit platforms + access | IEC unit platforms + access | NIL | EC unit platforms + access |
| Screening | Yes | Yes | Yes | NIL | Yes |
| Hydraulic | Condensate drains | Condensate drains + Water Supply | Condensate drains + Water Supply | NIL | Condensate drains + Water Supply |
| Fabric Insulation | Required | Not Required | Not Required | NIL | Not Required |
| Other | | | | NIL | |
| BL Required | Yes | Yes | Yes | No | Yes |
| Program (wks) | | | | | |
| Design & Document | 8 | 8 | 8 | 2 | 8 |
| Tender & Award | 4 | 4 | 4 | 3 | 4 |
| Execute | 20 | 12 | 16 | 12 | 12 |
| Total | 32 | 24 | 28 | 17 | 24 |
| Cost Summary | | | | | |
| Capital | \$773,000.00 | \$445,000.00 | \$675,000.00 | \$153,000.00 | \$585,000.00 |
| Recurrent | \$30,500.00 | \$10,500.00 | \$17,000.00 | \$3,000.00 | \$13,500.00 |
| Annual Sinking | \$10,000.00 | \$11,000.00 | \$30,000.00 | \$5,000.00 | \$16,000.00 |

In order to determine which option Council wishes to pursue, a direction on what the objective is that Council wants to achieve from the project is needed. For example if the main objective is for player comfort only then the HVLS fans would meet that criteria. If the objective is to meet improved conditions for both players, spectators and occasional events then the use of air-conditioning should be pursued. If this option is pursued the report is quite clear in the benefits and shortfalls of each of the options presented.

From staff's perspective the use of the refrigerated air-conditioning, whilst achieving the best conditions is cost prohibitive from both a capital purchase and also that additional works such as insulation will be required which has not been included within the budget figures.

Similarly the use of the IEC has a high capital cost and will achieve the same the same conditions (generally) as the more conventional EC.

From the report findings there are two options available, this being the use of a combination of HVLS fans and Evaporative Cooling or only to pursue the HVLS fans at this stage and reassess the installation of the Evaporative Units following a review period

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with the main user groups of the centre, being sporting clubs and organisations. As indicated in the report, staging the installation will have minimal additional costs.

It is recommended by staff that Council adopt the second option and assess the effectiveness over a full summer. It is hoped that should this option be effective, the installation of the additional evaporative cooling will not be required. This may provide Council with the opportunity to reassess the priority for funding on other capital works currently planned.

RECOMMENDATION

That Council;

- 1. Notes the contents and recommendations of the report on cooling options for the Northam Recreation Centre prepared by Geoff Hesford Consultants.**
- 2. Endorse the installation of HVLS fans for the cooling of the Northam Recreation Centre.**
- 3. Request the Chief Executive Officer to provide a report to Council in March 2017 giving an update on the operation and effectiveness of these fans.**

MOTION / COUNCIL DECISION

Minute No: C.2607

Moved: Cr Tinetti

Seconded: Cr Proud

That agenda item 13.2.7 Northam Recreation Centre Air Conditioning Feasibility be laid on the table and Council request the Department of Sport & Recreation to conduct a survey of the air conditioning requirements for the Northam Rec Centre and report their recommendations back to Council in due course.

CARRIED 9/1

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

**NORTHAM RECREATION CENTRE
SPORTS HALL**

**REPORT ON COMFORT
COOLING OPTIONS**

Prepared for:

SHIRE OF NORTHAM

Geoff
Hestford
BE MIEAUST

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

NORTHAM RECREATION CENTRE – COOLING OPTIONS

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

DOCUMENT HISTORY

| Revision | Date Issued | Revision Comment | Author |
|-----------------|--------------------|--------------------------|---------------|
| A | 29 Nov 2015 | Issued for Client Review | G Hesford |

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

1.0 EXECUTIVE SUMMARY

The Sports Hall of Northam Recreation Centre is naturally ventilated by a combination of:

- Low level wall louvres
- High level wall louvres
- A Fixed ridge vent
- Rotary cowls

With a summer design condition of 40.0°CDB / 26.4°CWB (35%RH) which can often be exceed, conditions within the Hall have proven to be too uncomfortable to conduct sports activities or even more sedentary uses such as exhibitions.

This report has examined the installation of five cooling options being:

- Airconditioning (AC)
- Evaporative Cooling (EC)
- Indirect Evaporative Cooling (IEC)
- High Volume Low Speed (HVLS) Fans
- EC + HVLS Fans

Following a site visit, preliminary engineering has been undertaken to derive system capacities, and equipment selections to enable capital, recurrent and replacement costs to be determined.

Thermal Comfort is discussed herein and Effective Temperatures derived for each option.

A summary of the findings are as follows:

| | AC | EC | IEC | HVLS Fans | EC + HVLS |
|--------------------------|--------------|--------------|--------------|--------------|--------------|
| Effective Temp (°CDB) | 27.6 | 30.6 | 31.8 | 32.5 | 29.5 |
| Capital | \$773,000.00 | \$445,000.00 | \$675,000.00 | \$153,000.00 | \$565,000.00 |
| Recurrent | \$30,500.00 | \$10,500.00 | \$17,000.00 | \$3,000.00 | \$13,500.00 |
| Annual Sinking | \$10,000.00 | \$11,000.00 | \$30,000.00 | \$5,000.00 | \$16,000.00 |
| Time to Implement (wks.) | 32 | 24 | 28 | 17 | 24 |

The Evaporative Cooling + HVLS Fans option is the recommended because it offers good thermal comfort for moderate costs.

This combination in reality will provide equal or better comfort conditions than the airconditioning option because the cooling effect of the evaporative cooling will be evenly spread across the courts and augmented by the high air movement from the fans.

This combination also enables the use of just the fans for a considerable time of the warmer months, particularly in the evenings.

If funding is an issue, then HVLS Fans on their own is the next preferred option. Evaporative cooling could be added as a second stage with no abortive costs incurred.

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

2.0 INTRODUCTION

2.1. SCOPE

This report examines five options to provide cooling of the Sports Hall.

For each option the following aspects have been considered:

- Thermal Comfort
- Capital costs
- Procurement costs
- Recurrent costs
- Replacement costs
- Time to Implement

2.2. OBJECTIVES

The objectives of this report are to present practical alternatives for the improvement of internal comfort conditions for the Sports Hall throughout the warmer months of the year.

By providing comparative comfort levels for the costs incurred, an objective decision can be made as to which option presents the most balance outcome.

2.3. METHODOLOGY

Firstly a site visit was undertaken in the company of council staff and the electrical maintenance contractor to familiarise the author with the physical and services constraints of the building.

Preliminary engineering of all options was then undertaken to establish:

- System capacities
- Equipment selections and costs
- Power requirements
- Spatial requirements
- Noise considerations
- Thermal comfort levels

Detailed estimates were then undertaken for all costs (capital, recurrent & replacement).

Options have been presented in a spreadsheet format for easy comparison. (Appendix 1.0)

2.4. LIMITATIONS

No structural engineering assessment has been made for the placement of equipment on structural platforms over the rooms on the NE side of the Sports Hall.

Experience suggests this will not be an issue for the Evaporative Cooling (EC) and Indirect Evaporative Cooling (IEC) options.

Whilst the Airconditioning option has heavier equipment, support from the existing structure should not be that difficult to achieve.

Water costs have not been estimated for the EC or IEC options as the variables make this impossible to predict with any accuracy.

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

3.0 COSTS ESTIMATES

3.1. BASIS

Capital, procurement and recurrent costs are based on today's rates and do not include the following:

- GST
- Escalation to time of Tender

Replacement costs equally have been calculated at today's rates.

3.2. CAPITAL COSTS

| Item | Comment |
|----------------|---|
| Mechanical | Expected trade cost for all mechanical services works |
| Electrical | Costs to provide electrical supplies to equipment or Mechanical Services Switch Boards (MSSB's) |
| Hydraulic | Costs for provision of water and condensate drainage. Does not include monitored metering |
| Building Works | Costs for structural platforms, access, flashed wall penetrations and in the case of the AC option, to insulate the external tilt panel walls |

3.3. PROCUREMENT COSTS

These costs are for engagement of:

- Project Manager
- Architect
- Mechanical Consultant
- Structural Consultant

No allowance has been made for internal costs of Shire employees.

3.4. RECURRENT COSTS

3.4.1. Energy Costs

It is very difficult to predict the energy costs of these options as the variables and assumptions to be considered are very wide.

Average load profiles have been assumed for each month varying from 100% to 80% for differing options for the hottest months to 0% for all options in the winter months

Operating hours have been taken as 8 hrs per day for 200 days per year = 1600 hrs/year and this has been applied to all options.

Average electricity cost has been taken @ \$0.25/kWhr.

3.4.2. Maintenance Costs

Maintenance costs include normal labour and consumables for routine maintenance.

They do not include service call outs or unexpected replacements/repairs beyond the contract warranty period.

3.5. REPLACEMENT COSTS

Replacement costs include for the replacement of equipment at the end of their economic life spans.

For simplistic comparative purposes a "sinking cost" has been derived as Replacement Cost/Life Span

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

4.0 THERMAL COMFORT

Thermal comfort is a very complex parameter to describe and/or calculate and is a function of many factors, the principle ones being:

- Dry Bulb Temperature
- Relative Humidity
- Occupant metabolic rate (activity)
- Clothing
- Air velocity

The following is extracted from Wikipedia.

Thermal comfort is the condition of mind that expresses [satisfaction](#) with the thermal environment and is assessed by subjective evaluation ([ANSI/ASHRAE Standard 55](#)).^[1] Maintaining this standard of thermal comfort for occupants of buildings or other enclosures is one of the important goals of [HVAC](#) ([heating](#), [ventilation](#), and [air conditioning](#)) design engineers.

Thermal neutrality is maintained when the heat generated by human metabolism is allowed to dissipate, thus maintaining thermal equilibrium with the surroundings. The main factors that influence thermal comfort are those that determine heat gain and loss, namely [metabolic rate](#), [clothing insulation](#), air temperature, [mean radiant temperature](#), air speed and [relative humidity](#). Psychological parameters such as individual expectations also affect thermal comfort.^[2]

The Predicted Mean Vote (PMV) model stands among the most recognized thermal comfort models. It was developed using principles of heat balance and experimental data collected in a controlled climate chamber under steady state conditions.^[3] The adaptive model, on the other hand, was developed based on hundreds of field studies with the idea that occupants dynamically interact with their environment. Occupants control their thermal environment by means of clothing, operable windows, fans, personal heaters, and sun shades.^[4]

The PMV model can be applied to air conditioned buildings, while the adaptive model can be generally applied only to buildings where no mechanical systems have been installed.^[5] There is no consensus about which comfort model should be applied for buildings that are partially air conditioned spatially or temporally.

Thermal comfort calculations according to [ANSI/ASHRAE Standard 55](#)^[1] can be freely performed with the [CBE Thermal Comfort Tool for ASHRAE 55](#).

The CBE Thermal Comfort Tool for ASHRAE 55 has its limitations when operating in the ranges of temperature, humidity and metabolic rate associated with indoor sports.

However this tool has been used to provide comparative "Effective Temperatures" for each option using a metabolic rate of 2.0 (Walking @ 3.2 km/hr). Basketball has a metabolic rate of 6.3, however when applied, the calculator crashes at the estimated internal conditions!!

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

5.0 CONSTRAINTS

5.1. NOISE

The neighbouring property to the SW kills any consideration of locating equipment on this side of the building.

Whilst it may be possible to select equipment then house it in acoustic enclosures, the costs of such attenuation would be prohibitive and in the case of the EC & ICE options the additional pressure drop to the airflow would render these options useless.

5.2. INFRASTRUCTURE

There are no foreseen constraints in terms of electrical or hydraulic services to support any of the options considered.

5.3. STRUCTURE

As noted earlier, detailed structural assessment to support plant over the over the rooms on the NE side of the Sports Hall.

Whilst the Airconditioning option has heavier equipment, support from the existing structure should not be that difficult to achieve.

Experience suggests this will not be an issue for the Evaporative Cooling (EC) and Indirect Evaporative Cooling (IEC) options.

5.4. BCA SECTION J REQUIREMENTS

The installation of airconditioning will require the installation of insulation to the tilt panels exposed to external elements.

This is considered the absolute minimum on the basis that an Alternative Solution could be developed to demonstrate that it the conditioned space is below the 4.0m height of the tilt panels and that the heat gains from the upper walls and roof do not impact on the cooling demands of the occupied space.

The EC, IEC and High Volume Low Speed (HVLS) fan options all consume well less than the 15 W/sqm limitation which would require insulation being applied to the tilt panels.

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

6.0 OPTIONS CONSIDERED

6.1. AIRCONDITIONING

6.1.1. Design Criteria

To establish system capacities, the following Design Criteria have been used:

| | | |
|------------------------|-------------|--|
| Ambient Conditions | Summer | 40.0°CDB / 26.4°CWB (35%RH) |
| Internal Conditions | Summer | 27.0°CDB/50%RH |
| Control Tolerance | Temperature | ± 1.5°C DB about set point. |
| | Humidity | No specific humidity controls; Resultant humidity levels are achieved by virtue of cooling coil performance. |
| Occupancy | | 400 people |
| Minimum Fresh Air Rate | | 2,500 l/s |

6.1.2. Systems Description

The above criteria indicate a total cooling demand of 200 kW.

Four off 55 kW nominal capacity roof top package units would be located on screened structural platforms over the roofs of the rooms to the NE side of the Sports Hall.

Conditioned air would be delivered to the occupied zone (4000H) via insulated ductwork suspended/bracketed along the NE wall just above the tilt panels and utilising double deflection sidewall registers.

Return air would be drawn through a return air grille mounted behind the supply air ductwork as the supply air ductwork will be located approximately 400 mm in front of the grille to enable it to pass in front of the columns.

The registers would be sized to throw the conditioned air approximately half way across the court as trying to throw all the way would result in unacceptable noise levels and pressure drops.

This means there will be temperature gradient across the court (approximately 2 degrees) dependent on the level of on court activity that will assist in dispersing the cooler air across the court.

All units would be controlled and monitored by the existing BMS system thus enabling time programming, fault enunciation and temperature setpoint adjustment.

At these cooling capacities, the units will incorporate economy cycles to utilise 100% outside air when more economical to do so.

6.1.3. Associated Works

Associated works required are as follows:

| Discipline | Works |
|-------------------|--|
| Building | Insulation of tilt panels Flashed wall penetrations |
| Structural | AC platforms Screening Access |
| Electrical | Submains to units/MSSB |
| Hydraulic | Condensate drains to AC units |

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

6.1.4. Building Licence

Given the extent of works and particularly as it incorporates structural work, a Building Licence will be required.

6.1.5. Program

Estimated time to fully implement the works from approval to proceed is 32 working weeks.

6.2. EVAPORATIVE COOLING

6.2.1. Design Criteria

To establish system capacities, the following Design Criteria have been used:

| | | |
|---------------------|--------|-----------------------------|
| Ambient Conditions | Summer | 40.0°CDB / 26.4°CWB (35%RH) |
| Internal Conditions | Summer | 31.0°CDB/75%RH |
| Occupancy | | 400 people |

6.2.2. Systems Description

The above criteria indicate a total supply air quantity of approximately 30,000 l/s is required.

Four off 7,500 l/s EC units would be located on screened structural platforms over the roofs of the rooms to the NE side of the Sports Hall.

Supply air distribution would be similar to that described for the AC option.

However, there is no return air and vitiated air would be relieved via the high level louvered openings and the ridge vent.

Again conditioned air would be thrown approximately half way across the court.

All units would be controlled and monitored by the existing BMS system thus enabling time programming, vent/cooling operation and fault enunciation.

6.2.3. Associated Works

Associated works required are as follows:

| Discipline | Works |
|-------------------|---|
| Building | Flashed wall penetrations |
| Structural | EC platforms Screening Access |
| Electrical | Submains to units/MSSB |
| Hydraulic | Water supplies to the EC units Condensate drains to EC units |

6.2.4. Building Licence

Given the extent of works and particularly as it incorporates structural work, a Building Licence will be required.

6.2.5. Program

Estimated time to fully implement the works from approval to proceed is 24 working weeks.

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

6.3. INDIRECT EVAPORATIVE COOLING

6.3.1. Design Criteria

To establish system capacities, the following Design Criteria have been used:

| | | |
|---------------------|--------|-----------------------------|
| Ambient Conditions | Summer | 40.0°CDB / 26.4°CWB (35%RH) |
| Internal Conditions | Summer | 36.5°CDB/45%RH |
| Occupancy | | 400 people |

6.3.2. Systems Description

The above criteria indicate a total supply air quantity of approximately 16,000 l/s is required.

Four groups of IEC units, each group comprising 4 x 1,000 l/s units would be located on screened structural platforms over the roofs of the rooms to the NE side of the Sports Hall.

Supply air distribution would be similar to that described for the AC option.

As there is no return air, vitiated air would be relieved via the high level louvered openings and the ridge vent.

Again conditioned air would be thrown approximately half way across the court.

All units would be controlled and monitored by the existing BMS system thus enabling time programming, vent/cooling operation and fault enunciation.

6.3.3. Associated Works

Associated works required are as follows:

| Discipline | Works |
|-------------------|---|
| Building | Flashed wall penetrations |
| Structural | EC platforms Screening Access |
| Electrical | Submains to units/MSSB |
| Hydraulic | Water supplies to the EC units Condensate drains to EC units |

6.3.4. Building Licence

Given the extent of works and particularly as it incorporates structural work, a Building Licence will be required.

6.3.5. Program

Estimated time to fully implement the works from approval to proceed is 28 working weeks.

6.4. HVLS FANS

6.4.1. Systems Description

High Volume Low Speed (HVLS) fans achieve their cooling effect in a similar fashion to evaporative cooling systems by air movement evaporating body sweat.

At peak summer ambient conditions, the internal conditions will be similar to the external conditions – perhaps marginally cooler given the thermal mass of the building.

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Whilst technically 6 off 3.6m dia fans will do the job, there is little difference in cost to install either 5.4 m dia or even 6.0m dia fans.

MSK-001 in Appendix 2.0 shows an overlay of the 4.8, 5.6 and 6.0m dia fans.

Costings have been based on the 5.4m dia fans.

6.4.2. Associated Works

| Discipline | Works |
|-------------------|------------------|
| Building | NIL |
| Structural | NIL |
| Electrical | Submains to MSSB |
| Hydraulic | NIL |

6.4.3. Building Licence

Given the works are entirely internal and do not require any structural works, a Building License should not be required.

6.4.4. Program

Estimated time to fully implement the works from approval to proceed is 17 working weeks.

6.5. EVAPORATIVE COOLING + HVLS FANS

6.5.1. Rationale

One of the major shortcomings of the AC, EC and IEC options is the inability of these systems to throw the conditioned air further than approximately 50% of the way across the courts.

This will result in temperature gradients across the courts with the extremities being possibly 2 degrees warmer than areas closest to the points of air discharge.

Installing both the EC & HVLS Fans will ensure that the conditioned air is quickly dispersed across the whole court area and the high air velocities delivered will increase the cooling effect of the evaporative cooling process.

This greater cooling effect is demonstrated by the lower effective temperature (29.5 degrees versus 30.6 degrees for EC only).

6.5.2. Systems Description

For this option, all works described for the EC & HVLS options would be incorporated.

6.5.3. Associated Works

Associated works required are as follows:

| Discipline | Works |
|-------------------|---|
| Building | Flashed wall penetrations |
| Structural | EC platforms Screening Access |
| Electrical | Submains to units/MSSB |
| Hydraulic | Water supplies to the EC units Condensate drains to EC units |

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6.5.4. Building Licence

Given the extent of works and particularly as it incorporates structural work, a Building Licence will be required.

6.5.5. Program

Estimated time to fully implement the works from approval to proceed is 24 working weeks.

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

7.0 DISCUSSION

7.1. AIRCONDITIONING

This option has the highest capital and recurrent cost.

It has a problem in dispersing the conditioned air further than 50% of the way across the court resulting in temperature gradient across the courts.

Predicted Effective Temperature is 27.6°CDB (excluding the abovementioned gradient issue).

Whilst comfort levels are predictably the best, they come at very high costs.

7.2. EVAPORATIVE COOLING

This option has moderate capital and low recurrent costs.

As for the airconditioning option, it has a problem in dispersing the conditioned air further than 50% of the way across the court resulting in temperature gradients across the courts.

Predicted Effective Temperature is 30.6°CDB (excluding the abovementioned gradient issue).

Comfort levels reflect costs = marginal.

7.3. INDIRECT EVAPORATIVE COOLING

This option has high capital costs, moderate recurrent costs and very high replacement costs.

The high replacement costs are the result of the number of units, their cost and relatively short life span – similar to evaporative coolers at 10 years.

As for the airconditioning option, it has a problem in dispersing the conditioned air further than 50% of the way across the court resulting in temperature gradients across the courts.

Predicted Effective Temperature is 31.8°CDB (excluding the abovementioned gradient issue).

Indicated comfort levels are not as good as evaporative cooling due predominantly to the lower air movement from this system.

A poor thermal outcome for very high costs.

7.4. HVLS FANS

This option has the lowest capital, recurrent and replacement costs.

It is also the easiest and quickest to implement.

Predicted Effective Temperature is 32.5°CDB, however in reality is likely to be a little better than this using the larger 5.4m dia fans.

This is still relatively warm but does represent a noticeable reduction in temperature from ambient conditions.

Good value.

7.5. EVAPORATIVE COOLING + HVLS FANS

This option has moderate capital, recurrent and replacement costs.

Predicted Effective Temperature is 29.5°CDB, however in reality is likely to be a little better than this using the larger 5.4m dia fans.

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This combination in reality will provide equal or better comfort conditions than the airconditioning option because the cooling effect of the evaporative cooling will be evenly spread across the courts and augmented by the high air movement from the fans.

This combination also enables the use of just the fans for a considerable time of the warmer months, particularly in the evenings.

Energy costs are therefore likely to be similar to EC only as the EC units will not run as much in the milder ambient conditions.

Moderately expensive but provides very good thermal comfort for reasonable recurrent and replacement costs.

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

8.0 RECOMMENDATION

The Evaporative Cooling + HVLS Fans option is the recommended option for the reasons outlined above.

If funding is an issue, then HVLS Fans on their own is the next preferred option. Evaporative cooling could be added as a second stage with no abortive costs incurred.

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NORTHAM RECREATION CENTRE – COOLING OPTIONS

APPENDIX 1.0
OPTIONS MATRIX

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NORTHAM RECREATION CENTRE COMFORT COOLING OPTIONS

| | Airconditioning | Evap Cooling | Indirect Evap Cooling | HVLS Fans | EC + HVLS |
|--------------------------|----------------------------|----------------------------------|----------------------------------|---------------------|----------------------------------|
| Conditions | | | | | |
| Ambient (°CDB/RH) | 40.0/35% | 40.0/35% | 40.0/35% | 40.0/35% | 40.0/35% |
| Internal (°CDB/RH) | 27.0/55% | 31.0/75% | 38.5/43% | 40.0/35% | 31.0/75% |
| Air Velocity (m/s) | 0.5 | 1.5 | 1.0 | 3.0 | 3.0 |
| Effective Temp (°CDB) | 27.6 | 30.6 | 31.8 | 32.5 | 29.5 |
| Capital Costs | | | | | |
| Mechanical | \$480,000.00 | \$290,000.00 | \$500,000.00 | \$125,000.00 | \$400,000.00 |
| Electrical | \$5,000.00 | \$5,000.00 | \$5,000.00 | \$3,000.00 | \$5,000.00 |
| Hydraulic | \$3,000.00 | \$10,000.00 | \$15,000.00 | \$0.00 | \$10,000.00 |
| Building Works | \$175,000.00 | \$50,000.00 | \$50,000.00 | \$0.00 | \$50,000.00 |
| Total | \$663,000.00 | \$355,000.00 | \$570,000.00 | \$128,000.00 | \$465,000.00 |
| Procurement Costs | | | | | |
| Project Mgt | \$25,000.00 | \$20,000.00 | \$25,000.00 | \$10,000.00 | \$25,000.00 |
| Architect | \$15,000.00 | \$15,000.00 | \$15,000.00 | \$0.00 | \$15,000.00 |
| Mech Consultant | \$50,000.00 | \$35,000.00 | \$45,000.00 | \$15,000.00 | \$40,000.00 |
| Structural Consult | \$20,000.00 | \$20,000.00 | \$20,000.00 | \$0.00 | \$20,000.00 |
| Total | \$110,000.00 | \$90,000.00 | \$105,000.00 | \$25,000.00 | \$100,000.00 |
| Recurrent Costs | | | | | |
| Energy | \$22,000.00 | \$6,500.00 | \$11,000.00 | \$2,000.00 | \$8,500.00 |
| Maint | \$8,500.00 | \$4,000.00 | \$6,000.00 | \$1,000.00 | \$5,000.00 |
| Life Cycle | | | | | |
| Years | 20 | 10 | 10 | 20 | |
| Replacement Cost | \$200,000.00 | \$110,000.00 | \$300,000.00 | \$100,000.00 | |
| Power | | | | | |
| Amps | 150 | 40 | 60 | 10 | 50 |
| Availability | Yes | Yes | Yes | Yes | Yes |
| Building Works | | | | | |
| Structural | AC unit platforms + access | EC unit platforms + access | IEC unit platforms + access | NIL | EC unit platforms + access |
| Screening | Yes | Yes | Yes | NIL | Yes |
| Hydraulic | Condensate drains | Condensate drains + Water Supply | Condensate drains + Water Supply | NIL | Condensate drains + Water Supply |
| Fabric Insulation | Required | Not Required | Not Required | NIL | Not Required |
| Other | | | | NIL | |
| BL Required | Yes | Yes | Yes | No | Yes |
| Program (wks) | | | | | |
| Design & Document | 8 | 8 | 8 | 2 | 8 |
| Tender & Award | 4 | 4 | 4 | 3 | 4 |
| Execute | 20 | 12 | 16 | 12 | 12 |
| Total | 32 | 24 | 28 | 17 | 24 |
| Cost Summary | | | | | |
| Capital | \$773,000.00 | \$445,000.00 | \$675,000.00 | \$153,000.00 | \$565,000.00 |
| Recurrent | \$30,500.00 | \$10,500.00 | \$17,000.00 | \$3,000.00 | \$14,500.00 |
| Annual Sinking | \$10,000.00 | \$11,000.00 | \$30,000.00 | \$5,000.00 | \$16,000.00 |

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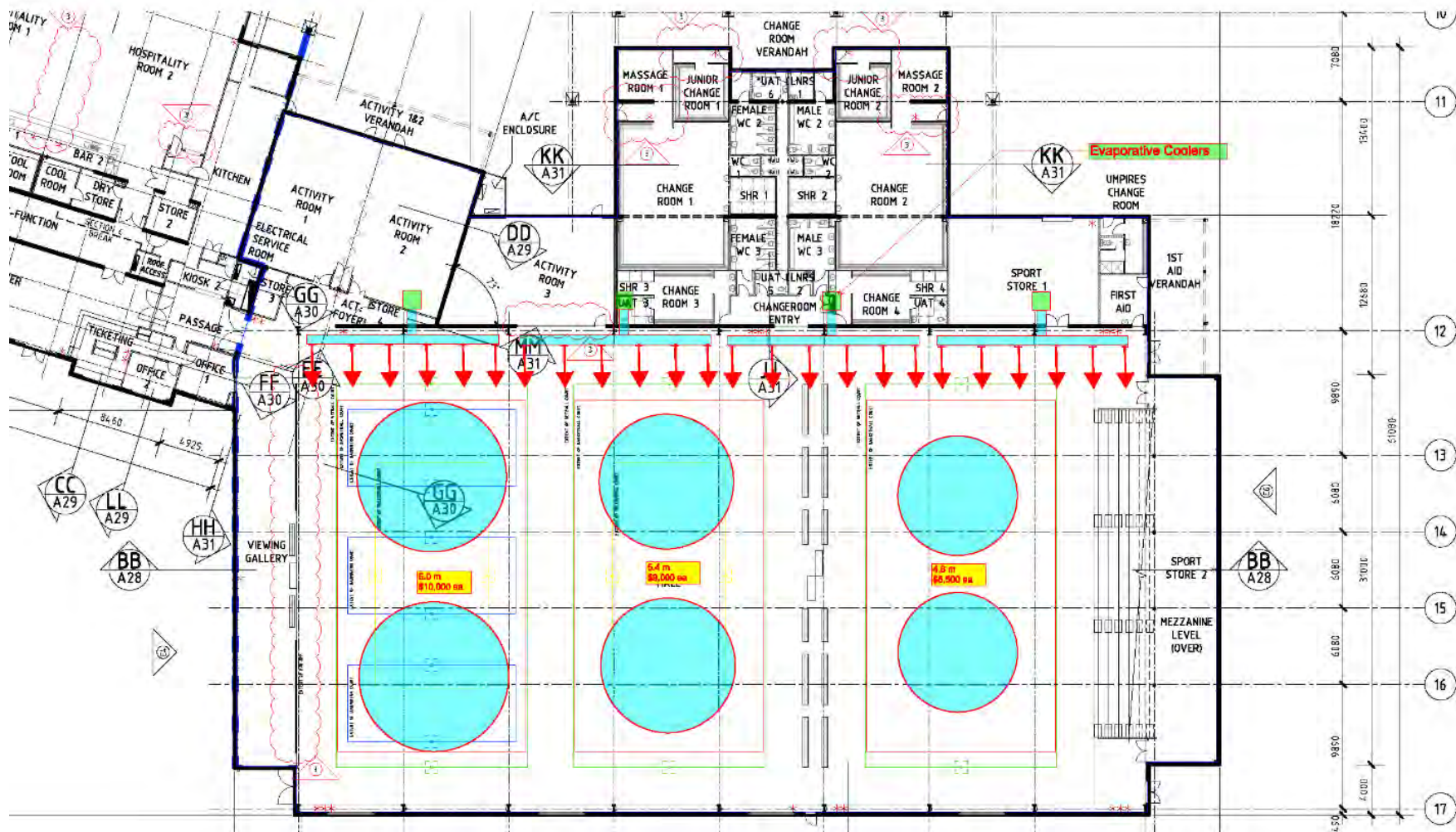
NORTHAM RECREATION CENTRE – COOLING OPTIONS

APPENDIX 2.0
EC + HVLS FANS SKETCH

SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015



SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

13.3. CORPORATE SERVICES

13.3.1 ACCOUNTS AND STATEMENTS OF ACCOUNTS

| | |
|--------------------|----------------------------|
| Name of Applicant: | Internal Report |
| Name of Owner: | N/A |
| File Ref: | 2.1.3.4 |
| Officer: | Leasa Osborne / Cary Green |
| Officer Interest: | Nil |
| Policy | Nil |
| Voting | Simple Majority |
| Date: | 1 December 2015 |

PURPOSE

The Accounts due and submitted to the Ordinary Council Meeting on 16 December 2015 are attached.

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2608

Moved: Cr Rumjantsev

Seconded: Cr Antonio

That Council endorse the payments for the period 1 November to 30 November 2015 as listed, which have been made in accordance with the delegated authority reference number (M/F/F/Regs LGA 1995 S5.42).

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| Municipal Bank Vouchers 34344 to 34379 | \$ 102,580.48 |
| Trust Bank Vouchers 1930 to 1936 | \$ 3,886.35 |
| Municipal Bank Electronic Fund Transfer EFT21345 to EFT21496 and EFT21503 to EFT21503 and EFT21506 to 21628 | \$ 848,695.41 |
| Trust Bank Electronic Fund Transfer EFT21497 to EFT21502 and EFT21504 to EFT21505 | \$ 2,980.00 |
| Direct Debit Fund Transfer 9198.1 and 9202.1 to 9202.16 and 9228.1 and 9258.1 to 9258.16 and 9268.1 | \$ 63,532.11 |
| Municipal Bank Electronic Fund Transfer Payroll 05/11/2015 | \$ 195,439.12 |
| Municipal Bank Electronic Fund Transfer Payroll 19/11/2015 | \$ 188,272.36 |
| Municipal Bank Electronic Fund Transfer Payroll 23/11/2015 | \$ 1,773.43 |
| TOTAL | \$1,407,159.26 |

CARRIED 10/0

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

| LIST OF ACCOUNTS DUE AND SUBMITTED TO COUNCIL NOVEMBER 2015 | | | | |
|--|-------------|--|---|----------------------|
| CHQ/EFT | DATE | NAME | DESCRIPTION | AMOUNT \$ |
| 1930 | 16/11/2015 | BUILDER'S REGISTRATION BOARD OF WA | MONTHLY BUILDING FEES COLLECTED FOR BSL FOR THE MONTH OF OCTOBER 2015. | - 1,641.81 |
| 1931 | 16/11/2015 | BUILDING & CONSTRUCTION INDUSTRY TRAINING FUND | MONTHLY BUILDING FEES COLLECTED FOR BCITF FOR THE MONTH OF OCTOBER 2015. | - 1,401.54 |
| 1932 | 16/11/2015 | CABLE LAYERS AUSTRALIA | REFUND OF STANDPIPE KEY 0010711430 RETURNED 02/11/2015. | - 50.00 |
| 1933 | 16/11/2015 | NORTHAM HARDWARE | ITEMS FOR KILLARA CHRISTMAS RAFFLE. | - 100.00 |
| 1934 | 16/11/2015 | SHIRE OF NORTHAM | MONTHLY BUILDING COMMISSION FEE FOR COLLECTION OF BSL & BCITF FOR OCTOBER 2015. | - 113.00 |
| 1935 | 16/11/2015 | STEVEN MARK I'ANSON | REFUND OF CANDIDATE DEPOSIT. | - 80.00 |
| 1936 | 25/11/2015 | WEST NORTHAM PRIMARY SCHOOL | REFUND OF BOND ON TOWN HALL. | - 500.00 |
| | | | TOTAL TRUST CHEQUES | - 3,886.35 |
| EFT21345 | 09/11/2015 | AUSTRALIAN TAXATION OFFICE - PAYG | PAYG PAYRUN 21/10/2015 TO 03/11/2015. | - 53,921.00 |
| EFT21346 | 09/11/2015 | CHILD SUPPORT AGENCY | PAYROLL DEDUCTIONS. | - 463.72 |
| EFT21347 | 09/11/2015 | CHRIS DAVIDSON | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 955.30 |
| EFT21348 | 09/11/2015 | CHRISTOPHER RICHARD ANTONIO | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 872.42 |
| EFT21349 | 09/11/2015 | CROSS COUNTRY TOURS PTY LTD | TOUR CANCELLED AS VISITORS CENTRE COULDN'T PROVIDE IT. | - 100.00 |
| EFT21350 | 09/11/2015 | DENIS GRAHAM BERESFORD | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 1,726.55 |
| EFT21351 | 09/11/2015 | DESMOND ARNOLD HUGHES | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 1,726.55 |
| EFT21352 | 09/11/2015 | JOHN PROUD | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 835.42 |
| EFT21353 | 09/11/2015 | JULIE ELLEN WILLIAMS | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 1,726.55 |
| EFT21354 | 09/11/2015 | KATHLEEN DAWN SAUNDERS | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 1,882.73 |
| EFT21355 | 09/11/2015 | LLEWELLYN A W | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 907.52 |
| EFT21356 | 09/11/2015 | MAXXIA PTY LTD | PAYROLL DEDUCTIONS. | - 514.32 |
| EFT21357 | 09/11/2015 | ROBERT WAYNE TINETTI | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 1,726.55 |
| EFT21358 | 09/11/2015 | STEVEN BRUCE POLLARD | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 2,779.55 |
| EFT21359 | 09/11/2015 | TERRY MATTHEW LITTLE | COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015. | - 2,969.32 |
| EFT21360 | 09/11/2015 | TIA COMERY | REFUND OF HALL BOND. | - 500.00 |

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| EFT21361 | 09/11/2015 | ULO RUMJANTSEV | COUNCILLOR PAYMENTS FOR OCTOBER 2015. | - 2,129.11 |
| EFT21362 | 09/11/2015 | POLLARD FAMILY SUPERANNUATION FUND T/A POLLARD ENTERPRISES PTY LTD | SUPERANNUATION MONTHLY CONTRIBUTION OCTOBER 2015. | - 2,500.00 |
| EFT21363 | 13/11/2015 | ABBOTT & CO PRINTERS | PRINTING OF DOG REGISTRATIONS ON A4 PERFORATED PAPER. | - 589.60 |
| EFT21364 | 13/11/2015 | AG IMPLEMENTS NORTHAM PTY LTD | BLADES FOR DEPOT MOWERS. | - 785.06 |
| EFT21365 | 13/11/2015 | AJ & SG FOWLER | GRAVEL FOR GUMLEY RD GRAVEL SHEETING. | - 462.00 |
| EFT21366 | 13/11/2015 | CANCELLED PAYMENT | | |
| EFT21367 | 13/11/2015 | ALLPUMPS & WATERBORING | LABOUR & ELECTRICAL WORK TO INSTALL AERATORS. | - 15,647.50 |
| EFT21368 | 13/11/2015 | ANGI MCCLUSKEY | PETTY CASH REIMBURSEMENT FOR THE LIBRARY. | - 220.33 |
| EFT21369 | 13/11/2015 | ANL LIGHTING AUSTRALIA PTY LTD | FLOOD LIGHTS FOR THE NORTHAM TOWN HALL. | - 296.95 |
| EFT21370 | 13/11/2015 | ARTHA PUBLISHING PTY LTD | AUSTRALIAN TOUR OPERATORS DIRECTORY FOR 2016. | - 345.00 |
| EFT21371 | 13/11/2015 | ASLAB PTY LTD | SUBGRADE TESTING JUBILEE OVAL PLAYGROUND. | - 1,006.58 |
| EFT21372 | 13/11/2015 | AUSTRALASIAN PERFORMING RIGHT ASSOCIATION LTD APRA | LICENCE FEE FOR COPYRIGHT MUSIC FOR THE PERIOD OF 01/10/2015 TO 31/12/2015. | - 458.67 |
| EFT21373 | 13/11/2015 | AUSTRALIAN CIVILS PTY LTD | CLAIM #1 SHIRE OF NORTHAM FOOTPATHS BORONIA AVENUE WUNDOWIE. | - 50,887.21 |
| EFT21374 | 13/11/2015 | AUTOPRO NORTHAM | TOOLS FOR EMPLOYEE OF THE QUARTER. | - 200.00 |
| EFT21375 | 13/11/2015 | AV-SEC SECURITY SERVICES | SECURITY MONITORING AT MULTIPLE SHIRE PROPERTIES. | - 1,399.60 |
| EFT21376 | 13/11/2015 | AVON A PARTY | PA SYSTEM FOR PINK RIBBON WALK. | - 150.00 |
| EFT21377 | 13/11/2015 | AVON DEMOLITION & EARTHMOVING | MANAGEMENT OF INKPEN ROAD WASTE MANAGEMENT FACILITY FOR THE PERIOD 12/10/2015 TO 26/10/2015. | - 1,568.00 |
| EFT21378 | 13/11/2015 | AVON FIBRE TECH | SUPPLY X4 PONTOONS FOR FIREWORKS DISPLAY. | - 550.00 |
| EFT21379 | 13/11/2015 | AVON PAPER SHRED | SHREDDING OF CONFIDENTIAL OFFICE PAPER. | - 55.00 |
| EFT21380 | 13/11/2015 | AVON TOURISM INCORPORATED | SPONSORSHIP FOR 2015/2016. | - 6,400.00 |
| EFT21381 | 13/11/2015 | AVON VALLEY ARTS SOCIETY (INC) | STOCK PURCHASES FOR NORTHAM VISITORS CENTRE. | - 99.00 |
| EFT21382 | 13/11/2015 | AVON VALLEY MOWER & CHAINSAW CENTRE | HUSQVARNA BARS FOR RIDE ON REEL MOWER. | - 65.00 |
| EFT21383 | 13/11/2015 | AVON VALLEY NISSAN | NEW MITSUBISHI OUTLANDER N11131 FOR EXEC MANAGER COMMUNITY SERVICES. | - 19,929.99 |

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| EFT21384 | 13/11/2015 | AVON VALLEY STOCK FEED & GARDEN SUPPLIES | FOOD FOR THE UPKEEP OF THE SWANS. | - | 363.80 |
| EFT21385 | 13/11/2015 | AVON WASTE | AVON WASTE COLLECTION FOR THE FORTNIGHT ENDING 16/10/2015. | - | 33,707.20 |
| EFT21386 | 13/11/2015 | AVW ELECTRICAL | INSTALLATION OF PHONE LINE & LIGHTS AT GRASS VALLEY FIRE SHED. | - | 5,231.49 |
| EFT21387 | 13/11/2015 | BARCODE DIRECT | RECEIPT PRINTER FOR NORTHAM LIBRARY. | - | 2,464.00 |
| EFT21388 | 13/11/2015 | CANCELLED PAYMENT | | | |
| EFT21389 | 13/11/2015 | BLACKWELL PLUMBING PTY LTD | ASSORTED WORK DONE AT MULTIPLE PUBLIC TOILETS. | - | 6,986.15 |
| EFT21390 | 13/11/2015 | BOB COOPER OUTBACK SURVIVAL PTY LTD | STOCK PURCHASES FOR NORTHAM VISITOR CENTRE. | - | 333.72 |
| EFT21391 | 13/11/2015 | BOEKEMAN MACHINERY | ASSORTED MECHANICAL ITEMS FOR ENGINEERING SERVICES. | - | 196.10 |
| EFT21392 | 13/11/2015 | BOOTH PRINT | PRINTING OF COLOURED AVON LINK FLYERS. | - | 172.70 |
| EFT21393 | 13/11/2015 | BRIDGING WATERS (BW IMPORTS) | STOCK PURCHASES FOR NORTHAM VISITORS CENTRE. | - | 421.70 |
| EFT21394 | 13/11/2015 | CENTRAL MOBILE MECHANICAL REPAIRS | REPAIRS TO MULTIPLE SHIRE VEHICLES. | - | 13,343.65 |
| EFT21395 | 13/11/2015 | CHERYL FAY GREENOUGH | REIMBURSEMENT FOR FOOD FOR THE MELBOURNE CUP LUNCHEON. | - | 90.00 |
| EFT21396 | 13/11/2015 | CJD EQUIPMENT PTY LTD | ASSORTED MECHANICAL ITEMS FOR ENGINEERING SERVICES. | - | 591.46 |
| EFT21397 | 13/11/2015 | CLACKLINE FENCING CONTRACTORS | SECURITY FENCE REPAIRS AT MULTIPLE SHIRE PROPERTIES. | - | 600.00 |
| EFT21398 | 13/11/2015 | COCA-COLA AMATIL (AUST) PTY LTD | DRINKS FOR THE NORTHAM SWIMMING POOL. | - | 2,179.28 |
| EFT21399 | 13/11/2015 | COLIN DUNCAN GRANT | CLEANING NORTHAM DISTRICT SES FOR OCTOBER. | - | 110.00 |
| EFT21400 | 13/11/2015 | COUNTRY COPIERS NORTHAM | SERVICE PHOTOCOPIERS AT ADMIN BUILDING, KILLARA & NORTHAM REC CENTRE. | - | 7,087.85 |
| EFT21401 | 13/11/2015 | COURIER AUSTRALIA | DELIVERY CHARGES FOR OCTOBER 2015. | - | 364.43 |
| EFT21402 | 13/11/2015 | COVS PARTS PTY LTD | ADBLUE DIESEL ADDITIVE 20L FOR KILLARA2. | - | 119.02 |
| EFT21403 | 13/11/2015 | CUTTING EDGES EQUIPMENT PARTS | ASSORTED MECHANICAL ITEMS FOR ENGINEERING SERVICES. | - | 243.24 |
| EFT21404 | 13/11/2015 | DAIBRO PTY LTD WHEATBELT CARAVAN & RV CENTRE | INSTALL & SUPPLY JOCKEY SWIVEL WHEEL ON N5461. | - | 528.00 |
| EFT21405 | 13/11/2015 | DEPARTMENT OF FIRE AND EMERGENCY SERVICE(DFES) OF WESTERN AUSTRALIA | RATES REFUND. | - | 800.00 |
| EFT21406 | 13/11/2015 | DUNCAN GROUP INTERNATIONAL - CLACKLINE VALLEY OLIVES | STOCK PURCHASES FOR NORTHAM VISITORS CENTRE. | - | 54.00 |

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| EFT21407 | 13/11/2015 | DUNNING INVESTMENTS PTY LTD | FUEL ACCOUNT FOR THE MONTH OF OCTOBER 2015. | - | 27,345.29 |
| EFT21408 | 13/11/2015 | EP PROPERTY CARE SERVICES | MONTHLY GARDEN MAINTENANCE TO NORTHAM SWIMMING POOL. | - | 263.40 |
| EFT21409 | 13/11/2015 | ESPLANADE HOTEL FREMANTLE | ACCOMMODATION & PARKING FOR LGMA STATE CONFERENCE. | - | 518.00 |
| EFT21410 | 13/11/2015 | FIRE AND SAFETY WA | PPE EQUIPMENT FOR FIRE BRIGADES. | - | 938.35 |
| EFT21411 | 13/11/2015 | FIRE MITIGATION SERVICES | PROVIDE A REPORT FOR SELECTED RESERVES & FREEHOLD LAND & CONDUCT FUEL LOAD ASSESSMENTS. | - | 7,500.00 |
| EFT21412 | 13/11/2015 | FRED HOPKINS WA | PARTS FOR CELLI MOWER. | - | 952.60 |
| EFT21413 | 13/11/2015 | FRONTLINE FIRE & RESCUE EQUIPMENT | PPE EQUIPMENT FOR FIRE BRIGADES. | - | 603.23 |
| EFT21414 | 13/11/2015 | GEOFF NINNES FONG & PARTNERS PTY LTD | ASSESSMENT REPORT & FUTURE PROVISION FOR POOLS. | - | 10,780.00 |
| EFT21415 | 13/11/2015 | GEORDAS THARIYATH | REIMBURSEMENT FOR EQUIPMENT PURCHASED. | - | 73.50 |
| EFT21416 | 13/11/2015 | GLENN STUART BEVERIDGE | ASSORTED MAINTENANCE WORK DONE AT MULTIPLE SHIRE PROPERTIES. | - | 4,075.50 |
| EFT21417 | 13/11/2015 | HAKO AUSTRALIA PTY LTD | PARTS FOOTPATH SWEEPER. | - | 108.24 |
| EFT21418 | 13/11/2015 | HART SPORT | EQUIPMENT FOR NORTHAM REC CENTRE. | - | 288.50 |
| EFT21419 | 13/11/2015 | HAYLEY AYERS-FINDLAY | PETTY CASH REIMBURSEMENT FOR THE LIBRARY. | - | 27.92 |
| EFT21420 | 13/11/2015 | HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LIMITED | RETAINER STAGE 1 & STAGE 2 FOR EXECUTIVE MANAGER CORPORATE SERVICES. | - | 16,500.00 |
| EFT21421 | 13/11/2015 | HEMA MAPS PTY LTD | STOCK PURCHASES FOR NORTHAM VISITORS CENTRE. | - | 100.30 |
| EFT21422 | 13/11/2015 | HOLCIM AUSTRALIA PTY LTD | CONCRETE FOR MULTIPLE LOCATIONS IN THE SHIRE OF NORTHAM. | - | 902.00 |
| EFT21423 | 13/11/2015 | HOST AUTO REPAIRS | REPAIRS TO MULTIPLE SHIRE VEHICLES. | - | 10,213.75 |
| EFT21424 | 13/11/2015 | INLAND PLUMBING & TOTAL RETICULATION | SOLENOIDS FOR MULTIPLE SHIRE PROPERTIES. | - | 1,024.65 |
| EFT21425 | 13/11/2015 | INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALIA - WA DIVISION | PUBLIC WORKS TRAINING WEEK ONE DAY REGISTRATION. | - | 450.00 |
| EFT21426 | 13/11/2015 | INVISION SIGNS AND DESIGNS | STOCK PURCHASES FOR NORTHAM VISITORS CENTRE. | - | 1,406.90 |
| EFT21427 | 13/11/2015 | JAYCAR PTY LTD | SECURITY CAMERA'S FOR CLACKLINE & BAKERS HILL. | - | 1,258.00 |
| EFT21428 | 13/11/2015 | JEF SALES & SERVICE | REPAIR STIHL CHAINSAW. | - | 235.00 |
| EFT21429 | 13/11/2015 | KATHERINE STEWART | STOCK PURCHASES FOR NORTHAM VISITORS CENTRE. | - | 20.00 |
| EFT21430 | 13/11/2015 | KLEENWEST DISTRIBUTORS | ASSORTED CLEANING PRODUCTS FOR KILLARA. | - | 1,045.01 |

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| EFT21431 | 13/11/2015 | LGIS - LOCAL GOVERNMENT INSURANCE SERVICES WA | ACTUAL WAGES DECLARATION ADJUSTMENT FOR 2014-2015. | - 5,044.05 |
| EFT21432 | 13/11/2015 | LGIS INSURANCE BROKING | MOTOR VEHICLE INSURANCE FOR THE PERIOD OF 30/06/2014 TO 30/06/2015. | - 1,856.86 |
| EFT21433 | 13/11/2015 | LOUI'S PLANT HIRE | CARTAGE OF ROCK TO SHIRE YARD & TO GEORGE NUICH PARK. | - 3,300.00 |
| EFT21434 | 13/11/2015 | LRA CIVIL PTY LTD | PROGRESS CLAIM #5 FOR WUNDOWIE DRAINAGE WORKS. | - 17,072.95 |
| EFT21435 | 13/11/2015 | MAYBERRY HAMMOND & CO | PROFESSIONAL LEGAL SERVICES. | - 1,274.40 |
| EFT21436 | 13/11/2015 | MEGA-FIX | MAINTENANCE PARTS FOR FERRIS MOWER. | - 11.25 |
| EFT21437 | 13/11/2015 | METRO BEVERAGE CO PTY LTD | REFRESHMENTS FOR NORTHAM REC CENTRE. | - 380.20 |
| EFT21438 | 13/11/2015 | MIDALIA STEEL | GALVANISED TUBE WITH CAP FOR ENGINEERING SERVICES. | - 55.34 |
| EFT21439 | 13/11/2015 | MOUNT HELENA LITTLE ATHLETICS CLUB | KIDSPORT FUNDING. | - 372.00 |
| EFT21440 | 13/11/2015 | NETSIGHT | MYOSH MONTHLY SUBSCRIPTION NOVEMBER 2015. | - 663.30 |
| EFT21441 | 13/11/2015 | NORTHAM & DISTRICTS GLASS SERVICE | WINDOW REPAIRS AT NORTHAM REC CENTRE & OLD GIRLS SCHOOL. | - 2,105.40 |
| EFT21442 | 13/11/2015 | NORTHAM AMATEUR BASKETBALL ASSOCIATION | KIDSPORT FUNDING. | - 5,594.00 |
| EFT21443 | 13/11/2015 | NORTHAM CENTRAL NEWSAGENCY | NEWSPAPERS FOR NORTHAM LIBRARY & KILLARA FOR OCTOBER 2015. | - 126.05 |
| EFT21444 | 13/11/2015 | NORTHAM HOLDEN | 105,000KM SERVICE TO HOLDEN COLORADO N.4021. | - 307.41 |
| EFT21445 | 13/11/2015 | NORTHAM JUNIOR CRICKET ASSOCIATION | KIDSPORTS FUNDING. | - 720.00 |
| EFT21446 | 13/11/2015 | NORTHAM LIQUOR BARONS | ASSORTED ITEMS FOR SHIRE FUNCTIONS. | - 472.80 |
| EFT21447 | 13/11/2015 | NORTHAM MITRE 10 SOLUTIONS | MAINTENANCE PARTS FOR MULTIPLE SHIRE PROPERTIES. | - 638.04 |
| EFT21448 | 13/11/2015 | NORTHAM NATIONALS | STOCK PURCHASES FOR NORTHAM VISITORS CENTRE. | - 45.00 |
| EFT21449 | 13/11/2015 | NORTHAM NURSERY | ASSORTED PLANTS FOR ENGINEERING SERVICES. | - 1,014.00 |
| EFT21450 | 13/11/2015 | NORTHAM OVER 60'S GROUP INC | COMMUNITY CLUB DONATION FOR 2015/2016. | - 750.00 |
| EFT21451 | 13/11/2015 | NORTHAM PRIMARY SCHOOL P&C | COMMUNITY GRANT FUNDING. | - 1,875.00 |
| EFT21452 | 13/11/2015 | NORTHAM TYREPOWER | REPLACE X2 FRONT TYRES ON QUAD BIKE PN020 26 X 12.00 R12. | - 350.00 |
| EFT21453 | 13/11/2015 | NORTHAM VETERINARY CENTRE | EUTHANASIA OF FERAL CAT FROM KURINGAL VILLAGE WUNDOWIE. | - 116.36 |

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| EFT21454 | 13/11/2015 | OCTAGON-BKG LIFTS | ROUTINE MAINTENANCE TO ACCESS PLATFORM LIFT AT NORTHAM LIBRARY. | - | 497.95 |
| EFT21455 | 13/11/2015 | OFFICEWORKS SUPERSTORES PTY LTD | STATIONARY ITEMS FOR NORTHAM LIBRARY & REC CENTRE. | - | 972.95 |
| EFT21456 | 13/11/2015 | OXTER SERVICES | ASSORTED CLEANING PRODUCTS FOR MULTIPLE SHIRE PROPERTIES & GRASS VALLEY & BAKERS HILL MAINTENANCE FOR THE PERIOD OF 5/10/2015 TO 30/10/2015. | - | 2,076.90 |
| EFT21457 | 13/11/2015 | PERTH SAFETY PRODUCTS PTY LTD | ASSORTED TRAFFIC SIGNS FOR ENGINEERING SERVICES. | - | 3,888.50 |
| EFT21458 | 13/11/2015 | PHILIP JOHN ROBINSON | MAINTENANCE REPAIRS TO MULTIPLE SHIRE PROPERTIES. | - | 1,196.80 |
| EFT21459 | 13/11/2015 | PHOENIX PAINTS PTY LTD | 20L DRUMS OF BLACK SPRAY MARKING PAINT. | - | 261.93 |
| EFT21460 | 13/11/2015 | PORTER CONSULTING ENGINEERS | REVIEW OF MORBY COTTAGE STRUCTURE PLAN. | - | 1,980.00 |
| EFT21461 | 13/11/2015 | PORTNER PRESS PTY LTD | EMPLOYMENT LAW UPDATE 8 2015. | - | 97.00 |
| EFT21462 | 13/11/2015 | PROMAPP SOLUTIONS LIMITED | PROMAPP PROCESS MANAGER SOFTWARE ACCESS FOR 50 LICENSES. | - | 1,122.00 |
| EFT21463 | 13/11/2015 | QUIN'S GOURMET BUTCHERS | ASSORTED MEAT FOR KILLARA. | - | 260.10 |
| EFT21464 | 13/11/2015 | ROADS2000 | EARTHWORKS AT VARIOUS LOCATIONS. | - | 26,611.20 |
| EFT21465 | 13/11/2015 | ROADSWEST ENGINEERING GROUP WA PTY LTD | PROVISION OF 85% DESIGN REVIEW REPORT FOR BRIDGE 638 REFURBISHMENT. | - | 5,340.50 |
| EFT21466 | 13/11/2015 | ROWLANDS TV & VIDEO REPAIRS | REPAIRS TO SHORT CIRCUIT IN CORDLESS MICROPHONE. | - | 50.60 |
| EFT21467 | 13/11/2015 | ROYAL LIFE SAVING SOCIETY WA | POOL LIFEGUARD REQUALIFICATION FOR POOL STAFF. | - | 260.00 |
| EFT21468 | 13/11/2015 | SETH WILLIAM TUCKER T/A TUCKERBUILT | POROUS PAVING AROUND STREET TREE BASES. | - | 440.00 |
| EFT21469 | 13/11/2015 | SIGMA CHEMICALS | RUBBER PAINT - WHITE 4 LITRES & EMERKIT - 2 PACK EPOXY. | - | 385.00 |
| EFT21470 | 13/11/2015 | SIGNAL ONE PTY LTD | X1 WOLFCOM VISION BODYCAM LE EDITION FOR RANGER SERVICES. | - | 488.95 |
| EFT21471 | 13/11/2015 | SLAV'S CLEANING SERVICE | CLEANING OF RECREATION CENTRE FOR THE PERIOD 7/10/2015 TO 06/11/2015. | - | 3,325.41 |
| EFT21472 | 13/11/2015 | SPECIALE SMASH REPAIRS | REPAIRED FRONT BUMPER LOWER GRILLE ON KILLARA3. | - | 338.65 |
| EFT21473 | 13/11/2015 | SPECIALISED TREE SERVICE | TREE PRUNING AT ASSORTED LOCATIONS IN THE SHIRE OF NORTHAM AS PER WESTERN POWER REQUIREMENTS. | - | 6,650.00 |
| EFT21474 | 13/11/2015 | SPORTSPOWER NORTHAM | SPORTS EQUIPMENT FOR NORTHAM REC CENTRE. | - | 647.17 |

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| EFT21475 | 13/11/2015 | ST JOHN AMBULANCE AUSTRALIA | FIRST AID KIT SERVICING IN MULTIPLE SHIRE VEHICLES. | - | 149.21 |
| EFT21476 | 13/11/2015 | ST JOSEPH'S SCHOOL | CONTRIBUTION TOWARDS INDIGENOUS SCHOLARSHIP SCHEME & CONTRIBUTION TOWARDS PRESENTATION NIGHT 2015. | - | 700.00 |
| EFT21477 | 13/11/2015 | STAPLES AUSTRALIA PTY LIMITED | STATIONERY ORDER FOR LIBRARY, DEPOT & MAIN OFFICE. | - | 877.34 |
| EFT21478 | 13/11/2015 | STATE LIBRARY OF WESTERN AUSTRALIA | WUNDOWIE LIBRARY LOST & DAMAGED ITEMS. | - | 55.00 |
| EFT21479 | 13/11/2015 | STEWART & HEATON CLOTHING CO.PTY LTD | ASSORTED PPE FOR BUSH FIRE OFFICERS. | - | 2,090.97 |
| EFT21480 | 13/11/2015 | THE FARM SHOP | REPAIR HAND RAILS ALONG RIVERBANK VISITORS CENTRE SIDE - VANDALISM. | - | 42.90 |
| EFT21481 | 13/11/2015 | THE WORKWEAR GROUP | UNIFORMS FOR MULTIPLE SHIRE EMPLOYEES. | - | 586.02 |
| EFT21482 | 13/11/2015 | THEA COMMINS | STOCK PURCHASES FOR NORTHAM VISITOR CENTRE. | - | 330.55 |
| EFT21483 | 13/11/2015 | TIDY TOWNS TOODYAY COLLABORATIVE COMMUNITY CLEAN | TOODYAY/NORTHAM ROAD COMMUNITY CLEAN UP. | - | 1,320.00 |
| EFT21484 | 13/11/2015 | TRISLEY'S HYDRAULIC SERVICES PTY LTD | SERVICE TO POOL FILTERATION SYSTEM AT WUNDOWIE. | - | 1,557.60 |
| EFT21485 | 13/11/2015 | TYRECYCLE PTY LTD | COLLECTION OF TYRES FROM THE OLD QUARRY REFUSE SITE. | - | 2,575.45 |
| EFT21486 | 13/11/2015 | WA COUNTRY HEALTH SERVICE | REFUND OF OVERPAYMENT. | - | 136.00 |
| EFT21487 | 13/11/2015 | WALLYS BITUMEN PAVING | ASPHALT WORKS AT NORTHAM RAILWAY MUSEUM. | - | 220.00 |
| EFT21488 | 13/11/2015 | WATTLEUP TRACTORS | PARTS FOR HOWARD PROCUT ROLLAMOWER. | - | 799.65 |
| EFT21489 | 13/11/2015 | WBS GROUP PTY LTD | REFUND OF ADVERTISING FEE. | - | 132.00 |
| EFT21490 | 13/11/2015 | WESTWIDE AUTO ELECTRICS AND AIR CONDITIONING | REPAIRS TO MULTIPLE SHIRE VEHICLES. | - | 4,942.80 |
| EFT21491 | 13/11/2015 | WHEATBELT PARTY AND EVENT HIRE | ROOM DECORATIONS FOR SENIORS WEEK CONCERT. | - | 895.40 |
| EFT21492 | 13/11/2015 | WHEATBELT SAFETYWEAR | PPE EQUIPMENT FOR ENGINEERING SERVICES. | - | 630.00 |
| EFT21493 | 13/11/2015 | WORMALD FIRE (WA) | MONTHLY ROUTINE INSPECTION & MAINTENANCE OF THE NORTHAM TOWN HALL. | - | 153.97 |
| EFT21494 | 13/11/2015 | WRIGHT EXPRESS AUSTRALIA PTY LTD (PUMA ENERGY) | FUEL FOR THE WUNDOWIE DEPOT & BAKERS HILL BFB FOR OCTOBER 2015. | - | 400.29 |
| EFT21495 | 13/11/2015 | WUNDOWIE SPRINGS PTY LTD WUNDOWIE ONE STOP | SAUSAGES & GROCERIES FOR THE OPENING OF THE WUNDOWIE SKATE PARK. | - | 463.41 |

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| EFT21496 | 13/11/2015 | YELLOWMETAL | ASSORTED MAINTENANCE MATERIALS. | - | 385.00 |
| | | | SUB TOTAL EFT MUNICIPAL | - | 462,449.61 |
| EFT21497 | 16/11/2015 | CHRIS DAVIDSON | REFUND OF CANDIDATE DEPOSIT. | - | 80.00 |
| EFT21498 | 16/11/2015 | CHRISTOPHER RICHARD ANTONIO | REFUND OF CANDIDATE DEPOSIT. | - | 80.00 |
| EFT21499 | 16/11/2015 | JANETTE KATHERINE SEAGRIM | REFUND OF CANDIDATE'S DEPOSIT FROM 2013 ELECTION. | - | 80.00 |
| EFT21500 | 16/11/2015 | JOHN PROUD | REFUND OF CANDIDATE DEPOSIT. | - | 80.00 |
| EFT21501 | 16/11/2015 | JULIE ELLEN WILLIAMS | REFUND OF COUNCILLOR CANDIDATE DEPOSIT. | - | 80.00 |
| EFT21502 | 16/11/2015 | ROBERT WAYNE TINETTI | REFUND OF COUNCILLOR CANDIDATE DEPOSIT. | - | 80.00 |
| | | | SUB TOTAL EFT TRUST | - | 480.00 |
| EFT21503 | 16/11/2015 | BEAUREPAIRES | NEW TYRES & TYRE REPAIRS FOR MULTIPLE SHIRE VEHICLES. | - | 2,644.93 |
| | | | SUB TOTAL EFT MUNICIPAL | - | 2,644.93 |
| EFT21504 | 25/11/2015 | AVON YOUTH COMMUNITY AND FAMILY SERVICES | REFUND OF BOND ON HOSPITALITY ROOM BOOKING. | - | 2,000.00 |
| EFT21505 | 25/11/2015 | SKILL HIRE WA PTY LTD | REFUND OF BOND ON LESSER HALL BOOKING. | - | 500.00 |
| | | | SUB TOTAL EFT TRUST | - | 2,500.00 |
| EFT21506 | 25/11/2015 | JR & A HERSEY PTY LTD | PPE EQUIPMENT FOR ENGINEERING SERVICES. | - | 1,171.17 |
| EFT21507 | 25/11/2015 | ABBOTT & CO PRINTERS | A4 DOG REGISTRATION PAPERS FOR RANGER SERVICES. | - | 589.60 |
| EFT21508 | 25/11/2015 | ACES ANIMAL CARE EQUIPMENT SERVICES PTY LTD | SPRAY SHIELD CITRONELLA SPRAY FOR RANGER SERVICES. | - | 133.40 |
| EFT21509 | 25/11/2015 | AG IMPLEMENTS NORTHAM PTY LTD | WHIPPER SNIPPER CORD & UNIVERSAL ALLOY HEADS. | - | 393.10 |
| EFT21510 | 25/11/2015 | AJ & SG FOWLER | GRAVEL TO LEAVER RD & GRAVEL FROM JENNAPULLIN PIT FOR ENGINEERING SERVICES. | - | 12,316.27 |
| EFT21511 | 25/11/2015 | ALAN'S AUTO ELECTRICS | REPAIR TRAILER LIGHTS ON N10922. | - | 57.50 |
| EFT21512 | 25/11/2015 | ALIA LTD | INSTITUTIONAL MEMBERSHIP RENEWAL FOR ANGI MCCLUSKEY. | - | 478.00 |
| EFT21513 | 25/11/2015 | ALLMARK & ASSOCIATES PTY LTD | JARRAH DESK NAME PLATE FOR COUNCILLORS & EXECUTIVE MANAGER CORPORATE SERVICE. | - | 467.50 |
| EFT21514 | 25/11/2015 | ANDY'S PLUMBING SERVICE | MAINTENANCE AT MULTIPLE SHIRE PROPERTIES. | - | 3,031.60 |
| EFT21515 | 25/11/2015 | ANGI MCCLUSKEY | PETTY CASH REIMBURSEMENTS. | - | 65.10 |
| EFT21516 | 25/11/2015 | APPLIED INDUSTRIAL TECHNOLOGIES T/A NORTHAM BEARINGS | RUBBER MATTING 9.5 MM X 1200MM FOR FERRIS LAWN MOWERS N.4060 & N.4019. | - | 48.40 |
| EFT21517 | 25/11/2015 | ARCUS AUSTRALIA PTY LTD | ARCUS HT4 DRINKING TROUGH, ARCUS RUBBER BUBBLERS, ARCUS | - | 5,808.00 |

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| | | | WATER COOLER FOR THE REC CENTRE. | |
| EFT21518 | 25/11/2015 | AUSTRALIA POST | AUSTRALIA POST FOR ADMIN, LIBRARY & KILLARA FOR OCTOBER 2015. | - 3,691.20 |
| EFT21519 | 25/11/2015 | AUSTRALIAN CIVILS PTY LTD | CLAIM FOR SHIRE OF NORTHAM FOOTPATHS AT WOOD DRIVE, PERINA PLACE, QUELQUELLING ROAD NORTHAM & BORONIA AVENUE WUNDOWIE. | - 80,082.75 |
| EFT21520 | 25/11/2015 | AUSTRALIAN TAXATION OFFICE - PAYG | PAYG PAYRUN 04/11/2015 TO 17/11/2015 & PAYG PAYRUN 23/11/2015. | - 51,377.98 |
| EFT21521 | 25/11/2015 | AUTOPRO NORTHAM | EQUIPMENT FOR BAKERS HILL BRIGADES. | - 188.50 |
| EFT21522 | 25/11/2015 | AVON DEMOLITION & EARTHMOVING | MANAGEMENT OF INKPEN ROAD WASTE MANAGEMENT FACILITY FOR THE PERIOD 27/10/2015 TO 08/11/2015. | - 1,568.00 |
| EFT21523 | 25/11/2015 | AVON TELECOMS PTY LTD | SECURITY MONITORING FOR MULTIPLE SHIRE PROPERTIES. | - 335.05 |
| EFT21524 | 25/11/2015 | AVON VALLEY MOWER & CHAINSAW CENTRE | ASSORTED POOL PRODUCTS. | - 1,427.91 |
| EFT21525 | 25/11/2015 | AVON VALLEY STOCK FEED & GARDEN SUPPLIES | MEGA MIX FERTILIZER FOR WUNDOWIE TOWNSITE MAINTENANCE & FOOD FOR THE UPKEEP OF SWANS. | - 254.45 |
| EFT21526 | 25/11/2015 | AVON YOUTH COMMUNITY AND FAMILY SERVICES | COMMUNITY GRANT FUNDING. | - 10,564.00 |
| EFT21527 | 25/11/2015 | AVONVALE PRIMARY SCHOOL | DONATION FOR END OF YEAR STUDENT AWARD 2015. | - 200.00 |
| EFT21528 | 25/11/2015 | BEAUREPAIRES | REPAIR PUNCTURED TYRE ON MULTIPLE SHIRE VEHICLES. | - 457.77 |
| EFT21529 | 25/11/2015 | BLACKWELL PLUMBING PTY LTD | MAINTENANCE REPAIRS TO MULTIPLE PUBLIC TOILETS. | - 1,290.24 |
| EFT21530 | 25/11/2015 | BOB DAVEY REAL ESTATE RENTAL TRUST A/C | ADVERTISING FEES FOR PROPERTY AUCTION. | - 724.90 |
| EFT21531 | 25/11/2015 | BOB WADDELL CONSULTANT | ASSISTANCE WITH HACC & NRCP ANNUAL REPORTS TO KILLARA. | - 3,099.80 |
| EFT21532 | 25/11/2015 | BOOTH PRINT | CHRISTMAS ON FITZGERALD FLYERS. | - 434.50 |
| EFT21533 | 25/11/2015 | BORAL RESOURCES WA LTD (ASPHALT) | ASHPHALT & OXIDE RED COLOUR FOR ENGINEERING SERVICES. | - 1,045.00 |
| EFT21534 | 25/11/2015 | BUNNINGS BUILDING SUPPLIES P/L | CRAFTRIGHT PICK UP & REACHING TOOL. | - 170.60 |
| EFT21535 | 25/11/2015 | C.Y.O'CONNOR INSTITUTE | CERTIFICATE III IN AGED CARE FOR KILLARA EMPLOYEES. | - 150.45 |
| EFT21536 | 25/11/2015 | CANNON HYGIENE AUSTRALIA PTY LTD | CHARGES FOR MONTHLY MADI STANDARD SERVICE & SANITARY UNIT SERVICE FOR THE NORTHAM VISITOR CENTRE. | - 253.06 |
| EFT21537 | 25/11/2015 | CENTRAL MOBILE MECHANICAL REPAIRS | REPAIRS TO MULTIPLE SHIRE VEHICLES. | - 5,108.02 |
| EFT21538 | 25/11/2015 | CHILD SUPPORT AGENCY | PAYROLL DEDUCTIONS. | - 463.72 |

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| EFT21539 | 25/11/2015 | CHILDREN WITH DIFFERENT ABILITIES | ADVERTISING FOR NORTHAM VISITOR CENTRE. | - | 484.00 |
| EFT21540 | 25/11/2015 | CJD EQUIPMENT PTY LTD | MAINTENANCE PARTS FOR ENGINEERING SERVICES. | - | 347.30 |
| EFT21541 | 25/11/2015 | COLIN DUNCAN GRANT | CLEANING NORTHAM DISTRICT SES & CLEANING SHIRE DEPOT FIRE DEPT STORE PEEL TCE. | - | 180.00 |
| EFT21542 | 25/11/2015 | COUNTRY ARTS WA | ANNUAL SUBSCRIBERS MEMBERSHIP FEE TO COUNTRY ARTS WA. | - | 110.00 |
| EFT21543 | 25/11/2015 | COUNTRY COPIERS NORTHAM | PHOTOCOPIER SERVICE AT SHIRE ADMIN & LIBRARY. | - | 2,450.89 |
| EFT21544 | 25/11/2015 | COURIER AUSTRALIA | DELIVERY CHARGES FOR NOVEMBER 2015. | - | 97.35 |
| EFT21545 | 25/11/2015 | DAMIAN'S PLUMBING | MAINTENANCE REPAIRS AT MULTIPLE SHIRE PROPERTIES. | - | 1,505.90 |
| EFT21546 | 25/11/2015 | DENIS GRAHAM BERESFORD | REFUND OF DOG REGO. | - | 75.00 |
| EFT21547 | 25/11/2015 | DS AGENCIES PTY | CUSTOM MADE PLATFORM BENCHES FOR ENGINEERING SERVICES. | - | 12,430.00 |
| EFT21548 | 25/11/2015 | DUN & BRADSTREET AUSTRALIA | MGL SOLICITORS FEES & EXTERNAL SOLICITORS FEES FOR ASSORTED RATES PROPERTIES. | - | 1,127.01 |
| EFT21549 | 25/11/2015 | E FIRE & SAFETY | SERVICE FIRE EQUIPMENT AT NORTHAM SHOWGROUNDS PAVILLION. | - | 423.50 |
| EFT21550 | 25/11/2015 | EASTERN HILLS CRICKET CLUB INC | KIDSPORT FUNDING. | - | 99.00 |
| EFT21551 | 25/11/2015 | EASTERN HILLS HORNETS TEEBALL & BASEBALL ASSOCIATION (INC) | KIDSPORT FUNDING. | - | 300.00 |
| EFT21552 | 25/11/2015 | FM SURVEYS | NORTHAM SWIMMING POOLS GUTTER LEVELS. | - | 264.00 |
| EFT21553 | 25/11/2015 | FRONTLINE FIRE & RESCUE EQUIPMENT | PPE EQUIPMENT FOR BRIGADES. | - | 481.57 |
| EFT21554 | 25/11/2015 | GLENN STUART BEVERIDGE | MAINTENANCE WORK AT MULTIPLE SHIRE PROPERTIES. | - | 1,450.00 |
| EFT21555 | 25/11/2015 | GRAFTON ELECTRICS | MAINTENANCE REPAIRS AT MULTIPLE SHIRE PROPERTIES. | - | 3,995.21 |
| EFT21556 | 25/11/2015 | GREENWARD CONSULTING | SUBMISSION OF FINAL DRAFT LOCAL PLANNING POLICY FOR THE FITZGERALD STREET COMMERCIAL & CIVIC CENTRE HERITAGE PRECINCT. | - | 3,308.40 |
| EFT21557 | 25/11/2015 | HAYLEY AYERS-FINDLAY | REIMBURSEMENT OF PETTY CASH ITEMS. | - | 73.75 |
| EFT21558 | 25/11/2015 | HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LIMITED | PROFESSIONAL SERVICES PROVIDED BY CARY GREEN EXECUTIVE MANAGER CORPORATE SERVICES FOR THE WEEK ENDING 08/11/2015. | - | 3,293.65 |
| EFT21559 | 25/11/2015 | HOLCIM AUSTRALIA PTY LTD | CONCRETE FOR INFORMATION BAY ON MITCHELL AVENUE. | - | 1,315.60 |

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| EFT21560 | 25/11/2015 | HOST AUTO REPAIRS | REPAIRS TO MULTIPLE BRIGADES VEHICLES. | - | 6,839.60 |
| EFT21561 | 25/11/2015 | HOUSE OF SHARDAY | STOCK PURCHASES FOR NORTHAM VISITOR CENTRE. | - | 368.91 |
| EFT21562 | 25/11/2015 | INVISION SIGNS AND DESIGNS | BUSINESS CARDS & NAME BADGES FOR MULTIPLE SHIRE EMPLOYEES. | - | 620.40 |
| EFT21563 | 25/11/2015 | JAYNE MCINNES | CLEANING OF SENIORS MEMORIAL HALL. | - | 1,260.00 |
| EFT21564 | 25/11/2015 | JTAGZ PTY LTD | YELLOW 2018 DOG TAGS FOR DEVELOPMENT SERVICES. | - | 92.40 |
| EFT21565 | 25/11/2015 | KARINA MCROBERTS | PERFORMANCE AT NORTHAM LIBRARY LUNCHTIME CONCERT SERIES. | - | 50.00 |
| EFT21566 | 25/11/2015 | KATHERINE STEWART | STOCK PURCHASES FOR NORTHAM VISITOR CENTRE. | - | 50.00 |
| EFT21567 | 25/11/2015 | KLEENWEST DISTRIBUTORS | ASSORTED CLEANING PRODUCTS FOR KILLARA. | - | 568.48 |
| EFT21568 | 25/11/2015 | LANDGATE | RURAL UV'S CHARGEABLE SCHEDULE R2015/13 DATED: 09/09/2015 TO 18/09/2015 & GROSS RENTAL VALUATIONS CHARGEABLE SCHEDULE NO: G2015/10 DATED: 29/08/2015 TO 25/09/2015. | - | 783.15 |
| EFT21569 | 25/11/2015 | LEISURE INSTITUTE OF W A AQUATICS | CONFERENCE & SEMINARS COUNTRY POOL MANAGERS SEMINAR & LIWA MEMBER REGISTRATION. | - | 400.00 |
| EFT21570 | 25/11/2015 | LLOYDS EARTHMOVING | PLANTS FOR CITIZENSHIP CEREMONY. | - | 33.00 |
| EFT21571 | 25/11/2015 | LOCAL GOVERNMENT MANAGERS AUSTRALIA WA DIVISION INC | CHARGES FOR WOMEN'S FORUM - STICKY FLOORS & GLASS CEALINGS. | - | 1,990.00 |
| EFT21572 | 25/11/2015 | MAXXIA PTY LTD | PAYROLL DEDUCTIONS. | - | 514.32 |
| EFT21573 | 25/11/2015 | MAYBERRY HAMMOND & CO | LEGAL COST FOR NORTHAM SPEEDWAY LEASE & DEVELOPMENT AGREEMENT. | - | 220.00 |
| EFT21574 | 25/11/2015 | MCDOWALL AFFLECK PTY LTD | REVIEW OF DILAPIDATION SURVEY FOR CONSTRUCTION OF KING CREEK PROJECT. | - | 858.00 |
| EFT21575 | 25/11/2015 | MCINTOSH & SONS | OUTER BEAM FOR HOWARD ROTOSLASHER - PN0911. | - | 467.94 |
| EFT21576 | 25/11/2015 | METRO BEVERAGE CO PTY LTD | DRINKS FOR NORTHAM REC CENTRE. | - | 108.25 |
| EFT21577 | 25/11/2015 | MOORE STEPHENS (WA) PTY LTD | ROADS TO RECOVERY ANNUAL RETURN FOR THE YEAR ENDED 30/06/2015. | - | 2,750.00 |
| EFT21578 | 25/11/2015 | NAVMAN WIRELESS PTY LTD | MONTHLY SATELITE SERVICE FEE. | - | 703.56 |
| EFT21579 | 25/11/2015 | NORTHAM & DISTRICTS GLASS SERVICE | MEASURE & REGLAZE TIMBER WINDOWS AT NORTHAM REC CENTRE. | - | 662.20 |

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| EFT21580 | 25/11/2015 | NORTHAM CENTRAL NEWSAGENCY | NEWSPAPER DELIVERIES FOR SHIRE ADMIN FOR THE PERIOD 01/10/2015 TO 31/10/2015. | - | 46.50 |
| EFT21581 | 25/11/2015 | NORTHAM COURIER SERVICE | DELIVERY CHARGES FOR NOVEMBER 2015. | - | 80.30 |
| EFT21582 | 25/11/2015 | NORTHAM FEED & HIRE | FOOD FOR THE UPKEEP OF THE SWANS. | - | 228.00 |
| EFT21583 | 25/11/2015 | NORTHAM MITRE 10 SOLUTIONS | ASSORTED ITEMS FOR MAINTENANCE REPAIRS. | - | 968.12 |
| EFT21584 | 25/11/2015 | NORTHAM TYREPOWER | REPLACE FRONT TYRE ON FUSO WATER TRUCK N007. | - | 751.92 |
| EFT21585 | 25/11/2015 | NORTHAM WADO RYU KARATE CLUB | REFUND ON BOOKING FEE. | - | 30.00 |
| EFT21586 | 25/11/2015 | OLLY'S CAR & FURNITURE UPHOLSTERY'S | REPAIR OF SHADE SAIL FOR NORTHAM SWIMMING POOL. | - | 880.00 |
| EFT21587 | 25/11/2015 | OXTER SERVICES | ASSORTED CLEANING ITEMS FOR SHIRE ADMIN & NORTHAM VISITOR CENTRE & CEMETERY INVOICING FOR OCTOBER 2015. | - | 9,388.51 |
| EFT21588 | 25/11/2015 | PAULL & WARNER BODY BUILDERS PTY LTD | MAINTENANCE ITEMS FOR SES STORM DAMAGE TEAM TO USE IN ROOF SAFETY SYSTEMS. | - | 921.67 |
| EFT21589 | 25/11/2015 | PBF AUSTRALIA | PBF CORPORATE MEMBERSHIP. | - | 3,500.00 |
| EFT21590 | 25/11/2015 | PRESTIGE ALARMS | SECURITY MONITORING FOR SHIRE ADMIN BUILDING FOR THE PERIOD 01/12/2015 TO 29/02/2016. | - | 115.00 |
| EFT21591 | 25/11/2015 | PRIME MEDIA GROUP | NORTHAM ADVERT SERIES FOR THE PERIOD 09/10/2015 TO 26/10/2015. | - | 1,267.20 |
| EFT21592 | 25/11/2015 | PROFESSIONAL LOCKSERVICE | KEYS FOR BAKERS HILL PAVILION, OLD GIRLS SCHOOL, NORTHAM POOL & WUNDOWIE POOL. | - | 181.50 |
| EFT21593 | 25/11/2015 | PUBLIC TRANSPORT AUTHORITY OF WESTERN AUSTRALIA (TRANS WA) | TICKET SALES FOR AVONLINK FOR THE MONTH ENDING OCTOBER 2015. | - | 26.58 |
| EFT21594 | 25/11/2015 | QUAD SERVICES PTY LTD | CLEANING OF MULTIPLE SHIRE BUILDING DURING OCTOBER 2015. | - | 3,697.13 |
| EFT21595 | 25/11/2015 | QUIN'S GOURMET BUTCHERS | PURCHASE OF ASSORTED MEATS FOR KILLARA. | - | 484.00 |
| EFT21596 | 25/11/2015 | RADIOWEST BROADCASTERS PTY LTD | RADIO ADS FOR FOOTPATH CONSTRUCTION PROGRAM FROM 13/10/2015 TO 31/10/2015. | - | 1,482.80 |
| EFT21597 | 25/11/2015 | RED DOT STORES | ASSORTED CRAFT ITEMS FOR EVENTS AT NORTHAM LIBRARY. | - | 197.20 |
| EFT21598 | 25/11/2015 | RETAIL DECISIONS (COLES) | COLES EXPENSES FOR THE MONTH OF OCTOBER 2015. | - | 2,578.23 |
| EFT21599 | 25/11/2015 | RETECH RUBBER | LONG JUMP RUNWAY FOR HENRY STREET OVAL. | - | 6,344.14 |
| EFT21600 | 25/11/2015 | RICOH AUSTRALIA | PRINTER CARTRIDGE FOR LICENCING PRINTER. | - | 172.70 |

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| EFT21601 | 25/11/2015 | ROAD AND TRAFFIC SERVICES | PAVEMENT MARKINGS FOR RAILWAY MUSEUM. | - | 874.50 |
| EFT21602 | 25/11/2015 | ROAD SIGNS AUSTRALIA | ASSORTED STREET SIGNS FOR ENGINEERING SERVICES. | - | 1,329.90 |
| EFT21603 | 25/11/2015 | ROADSWEST ENGINEERING GROUP WA PTY LTD | PROVISION OF BRIDGE INSPECTION SERVICES. | - | 17,083.00 |
| EFT21604 | 25/11/2015 | RURAL PRESS REGIONAL MEDIA (WA) PTY LTD | ASSORTED ADVERTISEMENTS IN THE AVON VALLEY ADVOCATE IN SEPTEMBER & OCTOBER 2015. | - | 8,543.56 |
| EFT21605 | 25/11/2015 | SANTALEUCA FORESTRY | STOCK PURCHASES FOR NORTHAM VISITOR CENTRE. | - | 237.35 |
| EFT21606 | 25/11/2015 | SETH WILLIAM TUCKER T/A TUCKERBUILT | MAINTENANCE WORK COMPLETED AT THE OLD TRAIN STATION. | - | 1,936.00 |
| EFT21607 | 25/11/2015 | SILVER WINGS SENIOR CITIZENS GROUP INC | COMMUNITY PROJECT GRANT. | - | 1,750.00 |
| EFT21608 | 25/11/2015 | SKILL HIRE WA PTY LTD | PROFESSIONAL SERVICES PROVIDED FOR ENGINEERING SERVICES IN OCTOBER 2015. | - | 8,821.45 |
| EFT21609 | 25/11/2015 | SLAV'S CLEANING SERVICE | CLEANING SERVICES AT MULTIPLE SHIRE PROPERTIES. | - | 8,763.01 |
| EFT21610 | 25/11/2015 | SPENCERS BROOK PROGRESS ASSOCIATION | ANNUAL BUDGET ALLOCATION. | - | 6,930.00 |
| EFT21611 | 25/11/2015 | SPORTS SURFACES | SYNTHETIC TURF TO NEW MATCH WICKET AT JUBILEE OVAL. | - | 4,796.00 |
| EFT21612 | 25/11/2015 | SPORTSPOWER NORTHAM | UNIFORMS FOR RECREATION CENTRE EMPLOYEES. | - | 159.60 |
| EFT21613 | 25/11/2015 | STAPLES AUSTRALIA PTY LIMITED | STATIONARY ITEMS FOR ADMIN. | - | 189.33 |
| EFT21614 | 25/11/2015 | STATE LIBRARY OF WESTERN AUSTRALIA | LOST ITEM FEES FOR WUNDOWIE LIBRARY. | - | 70.40 |
| EFT21615 | 25/11/2015 | STERIHEALTH SERVICES PTY LTD | EMPTY SHARPS SAFES AT BERNARD PARK & APEX PARK TOILETS FOR OCTOBER 2015. | - | 236.08 |
| EFT21616 | 25/11/2015 | STEWART & HEATON CLOTHING CO.PTY LTD | PPE EQUIPMENT FOR THE SES. | - | 283.10 |
| EFT21617 | 25/11/2015 | SUPERCIVIL | KERB MAINTENANCE AT MULTIPLE LOCATIONS. | - | 32,076.82 |
| EFT21618 | 25/11/2015 | THE LIMES ORCHARD STAY - PT & JA PERKINS | STOCK PURCHASES FOR THE NORTHAM VISITOR CENTRE. | - | 67.20 |
| EFT21619 | 25/11/2015 | THE PAPER COMPANY OF AUSTRALIA | ENVELOPES FOR SHIRE ADMIN. | - | 189.97 |
| EFT21620 | 25/11/2015 | TRACEY PEARCE | FUEL REIMBURSEMENT DUE TO FUEL CARD NOT WORKING. | - | 88.20 |
| EFT21621 | 25/11/2015 | TRISLEY'S HYDRAULIC SERVICES PTY LTD | SERVICE WORK INVESTIGATION WITH FAULTY PRO CAL UNIT. | - | 330.00 |
| EFT21622 | 25/11/2015 | VERNICE PTY LTD | SORTING OUT BURNT GREEN WASTE PILES AT THE INKPEN ROAD LANDFILL SITE. | - | 2,964.50 |

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| EFT21623 | 25/11/2015 | VICTORIA JONES | REIMBURSEMENT FOR JUICE PURCHASED FOR SENIORS WEEK EVENT. | - | 24.00 |
| EFT21624 | 25/11/2015 | VODAFONE | IRISHTOWN BRIGADE & SES MESSAGING SERVICE FOR THE PERIOD 01/11/2015 TO 30/11/2015. | - | 252.21 |
| EFT21625 | 25/11/2015 | WA CONTRACT RANGER SERVICES | CHARGES FOR CAT IMPOUND & TEMPORARY CARE FOR OCTOBER 2015. | - | 605.00 |
| EFT21626 | 25/11/2015 | WESTERN AUSTRALIAN TREASURY CORPORATION | LOAN NO. 221 INTEREST PAYMENT - AIRSTRIP UPGRADE. | - | 6,951.22 |
| EFT21627 | 25/11/2015 | WESTWATER ENTERPRISES PTY LTD | SERVICE OF THE NORTHAM WASTE WATER TREATMENT PLANT. | - | 3,841.09 |
| EFT21628 | 25/11/2015 | WHEATBELT SAFETYWEAR | PPE EQUIPMENT FOR ENGINEERING SERVICES. | - | 266.00 |
| | | | SUB TOTAL EFT MUNICIPAL | - | 383,600.87 |
| 34344 | 09/11/2015 | AUSTRALIAN SERVICES UNION | PAYROLL DEDUCTIONS. | - | 25.80 |
| 34345 | 09/11/2015 | LOCAL GOVERNMENT AND RACECOURSE EMPLOYEES UNION | PAYROLL DEDUCTIONS. | - | 41.00 |
| 34346 | 09/11/2015 | PETTY CASH | REIMBURSEMENT FOR THE LIBRARY FOR THE PERIOD 21/8/2015 TO 07/10/2015. | - | 97.80 |
| 34347 | 09/11/2015 | SYNERGY | ELECTRICITY ACCOUNT FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 13/8/2015 TO 15/10/2015. | - | 4,736.30 |
| 34348 | 09/11/2015 | TELSTRA CORPORATION | TELEPHONE FOR NORTHAM SES FOR THE PERIOD 15/9/2015 TO 14/10/2015. | - | 39.95 |
| 34349 | 09/11/2015 | WATER CORPORATION | WATER USE & SERVICE CHARGE FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 30/9/2015 TO 23/10/2015. | - | 11,148.96 |
| 34350 | 13/11/2015 | CITY OF BUNBURY | REGISTRATION FOR 2015 SWLGEMA CONFERENCE. | - | 150.00 |
| 34351 | 13/11/2015 | COMMISSIONER OF POLICE | APPLICATION FOR CHRISTMAS EVENT ROAD CLOSURE. | - | 79.80 |
| 34352 | 13/11/2015 | GOODEARTH HOTEL | ACCOMMODATION FOR KILLARA EMPLOYEES TO ATTEND HACC PROGRAM. | - | 430.00 |
| 34353 | 13/11/2015 | LUCY'S TEAROOMS | CATERING FOR MULTIPLE SHIRE MEETINGS. | - | 323.00 |
| 34354 | 13/11/2015 | NORTHAM BETTA HOME LIVING | ASSORTED ITEMS FOR NORTHAM DEPOT & GRASS VALLEY FIRE SHED. | - | 241.95 |
| 34355 | 13/11/2015 | NORTHAM LAWN TENNIS CLUB | COMMUNITY GRANT SPONSORSHIP. | - | 500.00 |
| | 13/11/2015 | NORTHAM TOY & BIKE WORLD | GAME FOR NORTHAM LIBRARY PROGRAMMES. | - | 44.91 |
| 34357 | 13/11/2015 | PERFECT COMPUTER SOLUTIONS PTY LTD | COMPUTER FOR NEW TRAINEE DRAFTSPERSON. | - | 1,475.00 |
| 34358 | 13/11/2015 | SHIRE OF NORTHAM | PAYROLL DEDUCTIONS. | - | 1,511.75 |

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

| | | | | |
|-------|------------|---|---|-------------|
| 34359 | 13/11/2015 | SYNERGY | ELECTRICITY ACCOUNT FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 15/08/2015 TO 02/11/2015. | - 48,545.00 |
| 34360 | 13/11/2015 | TELSTRA CORPORATION | MOBILE TELEPHONE ACCOUNT FOR THE PERIOD 25/10/2015 TO 24/11/2015 & PHONE ACCOUNT BAKERS HILL BFB FOR THE PERIOD 01/10/2015 TO 22/11/2015. | - 1,322.31 |
| 34361 | 13/11/2015 | WATER CORPORATION | WATER USE & SERVICE CHARGES FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 14/8/2015 TO 02/11/2015. | - 4,476.60 |
| 34362 | 13/11/2015 | SHIRE OF NORTHAM | 12 MONTH LICENCE & THIRD PARTY INSURANCE ON MULTIPLE VEHICLES. | - 50.20 |
| 34363 | 25/11/2015 | AUSTRALIAN SERVICES UNION | PAYROLL DEDUCTIONS. | - 25.80 |
| 34364 | 25/11/2015 | AVONVALE EDUCATION SUPPORT CENTRE | DONATION TOWARDS THE STUDENTS END OF YEAR AWARDS/GRADUATION. | - 200.00 |
| 34365 | 25/11/2015 | HEATH JARROD TRENORDEN | CROSSOVER REBATE. | - 600.00 |
| 34366 | 25/11/2015 | LOCAL GOVERNMENT AND RACECOURSE EMPLOYEES UNION | PAYROLL DEDUCTIONS. | - 41.00 |
| 34367 | 25/11/2015 | LUCY'S TEAROOMS | CATERING FOR MULTIPLE SHIRE MEETINGS & EVENTS. | - 1,074.00 |
| 34368 | 25/11/2015 | NORTHAM BETTA HOME LIVING | VACUUM CLEANER FOR RANGER SERVICE & ITEMS FOR THE HEALTH & WELL BEING PROGRAMME. | - 245.00 |
| 34369 | 25/11/2015 | NORTHAM FAMILY PRACTICE | PRE-EMPLOYMENT MEDICAL FOR MICHAEL NEWTON. | - 236.50 |
| 34370 | 25/11/2015 | NORTHAM HARDWARE | PPE EQUIPMENT FOR GRASS VALLEY BRIGADES. | - 75.00 |
| 34371 | 25/11/2015 | NORTHAM YOUTHCARE COUNCIL | DONATION - SUPPORT FOR CHAPLAINCY IN SCHOOLS. | - 1,000.00 |
| 34372 | 25/11/2015 | PETTY CASH | PETTY CASH REIMBURSEMENT FOR THE LIBRARY FROM 23/9/2015 TO 12/11/2015 & DEPOT FROM AUGUST TO NOVEMBER 2015. | - 180.40 |
| 34373 | 25/11/2015 | PFD FOOD SERVICES PTY LTD | ASSORTED FOOD ITEMS FOR KILLARA. | - 226.90 |
| 34374 | 25/11/2015 | SHANE PARKER | REIMBURSEMENT FOR DAMAGES TO VEHICLE. | - 280.00 |
| 34375 | 25/11/2015 | SHIRE OF NORTHAM | PAYROLL DEDUCTIONS. | - 1,300.00 |
| 34376 | 25/11/2015 | SYNERGY | ELECTRICITY ACCOUNT FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 31/08/2015 TO 05/11/2015. | - 3,026.00 |
| 34377 | 25/11/2015 | TELSTRA CORPORATION | LANDLINE ACCOUNT FOR OCTOBER 2015 & TELEPHONE FOR SES FOR THE PERIOD 15/10/2015 TO 04/12/2015. | - 5,531.25 |

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

| | | | | |
|-----------|------------|-------------------------------------|--|---------------------|
| 34378 | 25/11/2015 | TPS TOTAL PAINTING SERVICES | PAINTING INTERIOR & EXTERIOR DAMAGED WALLS, WINDOWS, DOORS & FRAMES AT OLD GIRLS SCHOOL. | - 4,950.00 |
| 34379 | 25/11/2015 | WATER CORPORATION | WATER USE & SERVICE CHARGES FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 09/09/2015 TO 30/11/2015. | - 8,348.30 |
| | | | TOTAL MUNICIPAL CHEQUES | - 102,580.48 |
| DD9198.1 | 03/11/2015 | TENNANT AUSTRALIA | LEASING FEE CLEANING EQUIPMENT NORTHAM RECREATION CENTRE NOVEMBER 2015 | - 1,067.00 |
| DD9202.1 | 03/11/2015 | WA SUPER | PAYROLL DEDUCTIONS. | - 24,857.09 |
| DD9202.2 | 03/11/2015 | SUNSUPER | SUPERANNUATION CONTRIBUTIONS. | - 226.52 |
| DD9202.3 | 03/11/2015 | AMG UNIVERSAL SUPER | SUPERANNUATION CONTRIBUTIONS. | - 345.32 |
| DD9202.4 | 03/11/2015 | PRIME SUPER | SUPERANNUATION CONTRIBUTIONS. | - 82.02 |
| DD9202.5 | 03/11/2015 | COLONIAL FIRST STATE SUPERANNUATION | SUPERANNUATION CONTRIBUTIONS. | - 204.47 |
| DD9202.6 | 03/11/2015 | COMMONWEALTH BANK GROUP SUPER | SUPERANNUATION CONTRIBUTIONS. | - 100.90 |
| DD9202.7 | 03/11/2015 | QSUPER | SUPERANNUATION CONTRIBUTIONS. | - 180.73 |
| DD9202.8 | 03/11/2015 | MACAULAY SUPERANNUATION FUND | SUPERANNUATION CONTRIBUTIONS. | - 178.10 |
| DD9202.9 | 03/11/2015 | AUSTRALIAN SUPER PTY LTD | SUPERANNUATION CONTRIBUTIONS. | - 2,240.98 |
| DD9228.1 | 11/11/2015 | BANKWEST | CLINTON KLEYNHANS MASTERCARD 23/9/15 TO 22/10/15. | - 1,316.97 |
| DD9228.1 | 11/11/2015 | BANKWEST | CHADD HUNT MASTERCARD 23/9/15 TO 22/10/15. | - 133.70 |
| DD9228.1 | 11/11/2015 | BANKWEST | JOHN ERIC HANSEN MASTERCARD 23/9/15 TO 22/10/15. | - 515.35 |
| DD9228.1 | 11/11/2015 | BANKWEST | ROSS RAYSON MASTERCARD 23/9/15 TO 22/10/15. | - 358.92 |
| DD9228.1 | 11/11/2015 | BANKWEST | JASON BRIAN WHITEAKER MASTERCARD 23/9/15 TO 22/10/15. | - 260.16 |
| DD9258.1 | 17/11/2015 | WA SUPER | PAYROLL DEDUCTIONS. | - 23,944.75 |
| DD9258.2 | 17/11/2015 | EWRAP SUPER | SUPERANNUATION CONTRIBUTIONS. | - 111.25 |
| DD9258.3 | 17/11/2015 | SUNSUPER | SUPERANNUATION CONTRIBUTIONS. | - 226.52 |
| DD9258.4 | 17/11/2015 | AMG UNIVERSAL SUPER | SUPERANNUATION CONTRIBUTIONS. | - 345.32 |
| DD9258.5 | 17/11/2015 | COLONIAL FIRST STATE SUPERANNUATION | SUPERANNUATION CONTRIBUTIONS. | - 68.61 |
| DD9258.6 | 17/11/2015 | COMMONWEALTH BANK GROUP SUPER | SUPERANNUATION CONTRIBUTIONS. | - 88.59 |
| DD9258.7 | 17/11/2015 | QSUPER | SUPERANNUATION CONTRIBUTIONS. | - 180.73 |
| DD9258.8 | 17/11/2015 | MACAULAY SUPERANNUATION FUND | SUPERANNUATION CONTRIBUTIONS. | - 202.76 |
| DD9258.9 | 17/11/2015 | HESTA SUPER FUND | SUPERANNUATION CONTRIBUTIONS. | - 52.48 |
| DD9268.1 | 17/11/2015 | WA SUPER | SUPERANNUATION CONTRIBUTIONS. | - 178.79 |
| DD9202.10 | 03/11/2015 | REST INDUSTRY SUPER | SUPERANNUATION CONTRIBUTIONS. | - 383.50 |

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

| | | | | | |
|-----------|------------|--|--|-----|---------------------|
| DD9202.11 | 03/11/2015 | CONCEPT ONE THE INDUSTRY SUPERANNUATION FUND | SUPERANNUATION CONTRIBUTIONS. | - | 183.85 |
| DD9202.12 | 03/11/2015 | ZURICH AUSTRALIA LIMITED | SUPERANNUATION CONTRIBUTIONS. | - | 244.42 |
| DD9202.13 | 03/11/2015 | BT SUPER FOR LIFE | SUPERANNUATION CONTRIBUTIONS. | - | 521.95 |
| DD9202.14 | 03/11/2015 | (THE QUEENSLAND LOCAL GOVERNMENT SUPERANNUATION BOARD) LG SUPER | SUPERANNUATION CONTRIBUTIONS. | - | 266.73 |
| DD9202.15 | 03/11/2015 | AMP LIFE LIMITED | SUPERANNUATION CONTRIBUTIONS. | - | 255.77 |
| DD9202.16 | 03/11/2015 | EWRAP SUPER | SUPERANNUATION CONTRIBUTIONS. | - | 89.62 |
| DD9258.10 | 17/11/2015 | AUSTRALIAN SUPER PTY LTD | SUPERANNUATION CONTRIBUTIONS. | - | 2,144.81 |
| DD9258.11 | 17/11/2015 | REST INDUSTRY SUPER | SUPERANNUATION CONTRIBUTIONS. | - | 500.71 |
| DD9258.12 | 17/11/2015 | CONCEPT ONE THE INDUSTRY SUPERANNUATION FUND | SUPERANNUATION CONTRIBUTIONS. | - | 183.85 |
| DD9258.13 | 17/11/2015 | ZURICH AUSTRALIA LIMITED | SUPERANNUATION CONTRIBUTIONS. | - | 244.42 |
| DD9258.14 | 17/11/2015 | BT SUPER FOR LIFE | SUPERANNUATION CONTRIBUTIONS. | - | 521.95 |
| DD9258.15 | 17/11/2015 | (THE QUEENSLAND LOCAL GOVERNMENT SUPERANNUATION BOARD) LG SUPER | SUPERANNUATION CONTRIBUTIONS. | - | 266.73 |
| DD9258.16 | 17/11/2015 | AMP LIFE LIMITED | SUPERANNUATION CONTRIBUTIONS. | - | 255.77 |
| | | | TOTAL DIRECT DEBIT | - | 63,532.11 |
| PAYROLL | 05/11/2015 | SHIRE OF NORTHAM MAIN PAY RUN | SHIRE OF NORTHAM EMPLOYEES PAYROLL. | - | 195,439.12 |
| PAYROLL | 19/11/2015 | SHIRE OF NORTHAM MAIN PAY RUN | SHIRE OF NORTHAM EMPLOYEES PAYROLL. | - | 188,272.36 |
| PAYROLL | 23/11/2015 | SHIRE OF NORTHAM ONE OFF PAY RUN | SHIRE OF NORTHAM ONE OFF EMPLOYEE PAYROLL | - | 1,773.43 |
| | | | TOTAL PAYROLL | - | 385,484.91 |
| | | | | | |
| | | | TOTAL EFT MUNICIPAL | -\$ | 848,695.41 |
| | | | TOTAL EFT TRUST | -\$ | 2,980.00 |
| | | | TOTAL CHEQUE MUNICIPAL | -\$ | 102,580.48 |
| | | | TOTAL CHEQUE TRUST | -\$ | 3,886.35 |
| | | | TOTAL DIRECT DEBIT | -\$ | 63,532.11 |
| | | | TOTAL PAYROLL | -\$ | 385,484.91 |
| | | | TOTAL | -\$ | 1,407,159.26 |

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

The payment of cheque numbers 34344 to 34379 from Municipal Fund (dated 1st November 2015 to 30th November 2015), the payment of trust cheque numbers 1930 to 1936 from the Trust Fund and the payment of Electronic Funds Transfer numbers EFT21345 to EFT21496 and EFT21503 to EFT21503 and EFT21506 to EFT21628 (dated 1st November 2015 to 30th November 2015). EFT Trust Fund EFT21497 to EFT21502 and EFT21504 to EFT21505 and Direct Debits 9198.1 and 9202.1 to 9202.16 and 9228.1 and 9258.1 to 9258.16 and 9268.1 have been made in accordance with delegated authority reference number (M/F/F/Regs LGA 1995 S5.42)

| | |
|---|--------------------|
| Municipal Bank Vouchers 34344 to 34379 | \$ 102,580.48 |
| Trust Bank Vouchers 1930 to 1936 | \$ 3,886.35 |
| Municipal Bank Electronic Fund Transfer EFT21345 to EFT21496 and EFT21503 to EFT21503 and EFT21506 to 21628 | \$ 848,695.41 |
| Trust Bank Electronic Fund Transfer EFT21497 to EFT21502 and EFT21504 to EFT21505 | \$ 2,980.00 |
| Direct Debit Fund Transfer 9198.1 and 9202.1 to 9202.16 and 9228.1 and 9258.1 to 9258.16 and 9268.1 | \$ 63,532.11 |
| Municipal Bank Electronic Fund Transfer Payroll 05/11/2015 | \$ 195,439.12 |
| Municipal Bank Electronic Fund Transfer Payroll 19/11/2015 | \$ 188,272.36 |
| Municipal Bank Electronic Fund Transfer Payroll 23/11/2015 | \$ 1,773.43 |
| TOTAL | \$1,407,159.26 |

CERTIFICATION OF THE PRESIDENT

I hereby certify that this schedule of account covering Vouchers and Electronic Funds Transfer payments as per above and totalling \$1,407,159.26 was submitted to the Ordinary Meeting of Council on Wednesday, 16 December 2015.

_____ CERTIFICATION OF THE PRESIDENT

CERTIFICATE OF THE CHIEF EXECUTIVE OFFICER

This schedule of accounts paid covering Vouchers and Electronic Funds Transfer payments as per above and totalling \$1,407,159.26 was submitted to each member of the Council on Wednesday, 16 December 2015, has been checked and is fully supported by vouchers and invoices which are submitted herewith and which have been duly certified as to the receipt of goods and the rendition of services and as to prices, computations and casting and the amounts shown are due for payment.

_____ CHIEF EXECUTIVE OFFICER

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

13.3.2 FINANCIAL STATEMENTS TO 31 OCTOBER 2015

| | |
|--------------------|----------------------------|
| Name of Applicant: | Internal Report |
| File Ref: | 2.1.3.4 |
| Officer: | Zoe Macdonald / Cary Green |
| Officer Interest: | Nil |
| Policy: | Nil |
| Voting: | Simple Majority |
| Date: | 16 December 2015 |

PURPOSE

The Statement of Financial Activity for the period ending 31 October 2015 is included as a separate attachment to this Agenda and includes the following reports:

- Statement of Financial Activity;
- Acquisition of Assets;
- Disposal of Assets;
- Information on Borrowings;
- Reserves;
- Net Current Assets;
- Rating Information;
- Trust Funds;
- Operating Statements;
- Balance Sheet;
- Financial Ratio;
- Budget to Actual Material Variance; and
- Bank Reconciliation

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2609

Moved: Cr Little

Seconded: Cr Davidson

That Council receive the Financial Statements, prepared in accordance with the Local Government (Financial Management) Regulations, for the period ended 31 October 2015.

CARRIED 10/0

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015



SHIRE OF NORTHAM
MONTHLY STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

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SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | NOTE | October 2015 Actual \$ | October 2015 Y-T-D Budget \$ | Projected 2015/2016 Budget \$ | Variances Actuals to Budget \$ | Variances Actual Budget to Y-T-D % |
|---|------|---------------------------------|---------------------------------------|--|---|--|
| Operating | | | | | | |
| Revenues/Sources | | | | | | |
| | 8 | | | | | |
| Governance | | 46,689 | 18,248 | 54,800 | 28,441 | 155.86% |
| General Purpose Funding Other | | 445,876 | 593,226 | 2,190,082 | (147,350) | (24.84%) |
| General Purpose Funding Rates | | 8,549,998 | 2,860,440 | 8,582,323 | 5,689,558 | 198.91% |
| Law, Order, Public Safety | | 79,266 | 347,996 | 1,044,095 | (268,730) | (77.22%) |
| Health | | 4,274 | 16,664 | 50,000 | (12,390) | (74.35%) |
| Education and Welfare | | 564,870 | 444,332 | 1,333,066 | 120,538 | 27.13% |
| Housing | | 12,415 | 15,480 | 46,465 | (3,065) | (19.80%) |
| Community Amenities | | 1,807,528 | 823,272 | 2,469,929 | 984,256 | 119.55% |
| Recreation and Culture | | 100,800 | 1,007,676 | 3,023,244 | (906,876) | (90.00%) |
| Transport | | 503,588 | 519,717 | 2,277,699 | (16,129) | (3.10%) |
| Economic Services | | 104,544 | 191,412 | 574,419 | (86,868) | (45.38%) |
| Other Property and Services | | 50,382 | 18,056 | 54,200 | 32,326 | 179.03% |
| | | 12,270,230 | 6,856,519 | 21,700,322 | 5,413,711 | 78.96% |
| (Expenses)/(Applications) | | | | | | |
| | 8 | | | | | |
| Governance | | (419,758) | (441,107) | (1,201,997) | 21,349 | 4.84% |
| General Purpose Funding | | (86,117) | (121,612) | (364,868) | 35,495 | 29.19% |
| Law, Order, Public Safety | | (352,648) | (394,275) | (1,131,201) | 41,627 | 10.56% |
| Health | | (123,662) | (102,378) | (296,919) | (21,284) | (20.79%) |
| Education and Welfare | | (447,698) | (503,143) | (1,502,295) | 55,445 | 11.02% |
| Housing | | (32,071) | (37,233) | (105,856) | 5,162 | 13.86% |
| Community Amenities | | (885,144) | (1,142,595) | (3,419,277) | 257,451 | 22.53% |
| Recreation & Culture | | (1,490,760) | (1,510,611) | (4,285,143) | 19,851 | 1.31% |
| Transport | | (2,851,202) | (1,752,876) | (4,760,181) | (1,098,326) | (62.66%) |
| Economic Services | | (683,818) | (745,179) | (2,036,106) | 61,361 | 8.23% |
| Other Property and Services | | (176,718) | (60,388) | (27,040) | (116,350) | (192.73%) |
| | | (7,549,596) | (6,811,377) | (19,130,883) | (738,219) | 10.84% |
| Adjustments for Non-Cash (Revenue) and Expenditure | | | | | | |
| (Profit)/Loss on Asset Disposals | 2 | 0 | 48,010 | 144,029 | (48,010) | 100.00% |
| Movement in Accrued Interest | | 0 | 0 | 0 | 0 | 0.00% |
| Movement in Accrued Salaries and Wages | | 0 | 0 | 0 | 0 | 0.00% |
| Movement in Deferred Pensioner Rates/ESL | | 0 | 0 | 0 | 0 | 0.00% |
| Movement in Employee Benefit Provisions | | (66,072) | 0 | 0 | (66,072) | 0.00% |
| Depreciation on Assets | | 2,507,001 | 1,087,852 | 3,263,710 | 1,419,149 | (130.45%) |
| Capital Revenue and (Expenditure) | | | | | | |
| Purchase Land Held for Resale | 1 | 0 | 0 | 0 | 0 | 0.00% |
| Purchase Land and Buildings | 1 | (19,600) | (3,402,847) | (3,402,847) | 3,383,247 | 99.42% |
| Purchase Plant and Equipment | 1 | (456,884) | (1,279,054) | (1,279,054) | 822,170 | 64.28% |
| Purchase Furniture and Equipment | 1 | 0 | 0 | 0 | 0 | #DIV/0! |
| Purchase Bush Fire Equipment | 1 | 0 | (460,000) | (460,000) | 460,000 | 100.00% |
| Purchase Playground Equipment | 1 | 0 | 0 | 0 | 0 | 0.00% |
| Purchase Infrastructure Assets - Roads | 1 | (357,654) | (3,350,383) | (3,350,383) | 2,992,729 | 89.32% |
| Purchase Infrastructure Assets - Bridges | 1 | 0 | 0 | (260,000) | 0 | |
| Purchase Infrastructure Assets - Footpaths | 1 | (71,484) | (176,732) | (611,151) | 105,248 | 59.55% |
| Purchase Infrastructure Assets - Drainage | 1 | (286,963) | (1,010,772) | (1,010,772) | 723,809 | 0.00% |
| Purchase Infrastructure Assets - Parks & Ovals | 1 | (375,309) | (649,264) | (649,264) | 273,955 | 42.19% |
| Purchase Infrastructure Assets - Airfields | 1 | 0 | 0 | 0 | 0 | #DIV/0! |
| Purchase Infrastructure Assets - Streetscape | 1 | (75,635) | (88,116) | (264,371) | 12,481 | 14.16% |
| Purchase Infrastructure Assets - Other | 1 | (134,629) | (410,042) | (410,042) | 275,413 | 67.17% |
| Proceeds from Disposal of Assets | 2 | 0 | 114,881 | 344,642 | (114,881) | 100.00% |
| Repayment of Debentures | 3 | (97,684) | (70,040) | (210,154) | (27,644) | (39.47%) |
| Proceeds from New Debentures | 3 | 0 | 0 | 0 | 0 | 0.00% |
| Advances to Community Groups | | 0 | 0 | 0 | 0 | 0.00% |
| Self-Supporting Loan Principal Income | 3 | 14,821 | 10,033 | 30,099 | 4,788 | 0.00% |
| Transfers to Restricted Assets (Reserves) | 4 | (42,493) | (963,385) | (963,385) | 920,892 | 95.59% |
| Transfers from Restricted Asset (Reserves) | 4 | 0 | 1,858,061 | 1,858,061 | (1,858,061) | 0.00% |
| Transfers from Restricted Asset (Other) | | 0 | 0 | 0 | 0 | #DIV/0! |
| ADD Net Current Assets July 1 B/Fwd | 5 | 5,911,724 | 5,911,724 | 5,919,675 | 0 | 0.00% |
| LESS Net Current Assets Year to Date | 5 | 11,239,260 | 4,024 | 4,024 | 11,235,236 | 279205.66% |
| | | 65,142 | (2,788,956) | 1,254,208 | 2,854,099 | (102.34%) |

This statement is to be read in conjunction with the accompanying notes.

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | October 2015 Actual \$ | 2015/2016 Budget \$ |
|---|---------------------------------|---------------------------|
| 1. ACQUISITION OF ASSETS | | |
| The following assets have been acquired during the period under review: | | |
| <u>By Program</u> | | |
| Governance | | |
| CEO Vehicle | 0 | 55,000 |
| Law, Order & Public Safety | | |
| CESM Vehicle | 33,115 | 40,000 |
| Brigade Appliance -3.4 Grass Valley | 0 | 335,000 |
| Brigade Appliance - Light Tanker Irishtown BFB | 0 | 125,000 |
| Inkpen Fireshed | 0 | 280,851 |
| Clackline/Muresk Fire Shed | 4,529 | 51,975 |
| Electronic Conversion of Standpipe | 0 | 12,500 |
| Ranger Vehicle | 0 | 35,000 |
| Ranger Vehicle | 0 | 25,000 |
| CCTV - Fitzgerald St & Peel Tce | 0 | 24,200 |
| Health | | |
| Snr EHO Vehicle | 0 | 35,000 |
| Education & Welfare | | |
| NRCP Vehicle | 31,454 | 38,500 |
| Fluffy Ducks Patio & Power Relocation | 0 | 10,455 |
| Land & Buildings - Respite Centre Construction | 13,821 | 19,852 |
| Community Amenities | | |
| Gate House - Inkpen Landfill | 0 | 10,000 |
| Drainage - Bernard Park Supertowns | 4,015 | 338,026 |
| Drainage - Town Centre Stage 2 | 0.0 | 0 |
| Area Drainage | 58,540.7 | 232,513 |
| Aerators - Supertowns | 63,865 | 241,123 |
| Snr EHO Vehicle | 40,271 | 35,000 |
| Avon Mall Streetscaping | 11,950 | 148,138 |
| Buildings Cemetery | 0 | 0 |
| Cemetery Drainage | 0 | 2,769 |
| Cemetery Lot Development | 0 | 18,600 |

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | October 2015 Actual \$ | 2015/2016 Budget \$ |
|---|---------------------------------|---------------------------|
| 1. ACQUISITION OF ASSETS (Continued) | | |
| <u>By Program (Continued)</u> | | |
| Recreation and Culture | | |
| Land & Building - Replace Balcony | 0 | 178,200 |
| Northam Pool Bowl Tiles | 0 | 14,000 |
| Filter - Wundowie Pool | 0 | 24,600 |
| Rec Centre Air Conditioning | 0 | 500,000 |
| Rec Centre Additional Exit Doors | 0 | 25,000 |
| Bakers Hill Golf & Tennis - Kitchen | 0 | 60,365 |
| EMComms Vehicle | 39,482 | 40,000 |
| George Nuich park Playground/ Shade | 114,473 | 85,895 |
| Play Equipment Wundowie | 0 | 9,796 |
| Play Equipment Jubilee Oval | 0 | 0 |
| Install Cricket Pitch - Jubilee Oval | 13,360 | 27,000 |
| Henry Street Oval Fencing WAFL Grant | 0 | 3,223 |
| Free Standing Stackable Seating | 0 | 3,580 |
| BMX Lighting | 0 | 20,000 |
| Bert Hawke Drainage | 0 | 40,000 |
| Bert Hawke Lighting | 0 | 20,000 |
| Wundowie Skate park | 135,771 | 194,032 |
| Henry Street Oval Drainage | 0 | 6,780 |
| Playground POS Improvements | 91,696 | 178,069 |
| Parks Seating & Play Equipment | 5,757 | 40,000 |
| Retic Wundowie Oval | 14,252 | 20,889 |
| Drink Fountain - Rec Centre | 5,280 | 5,500 |
| Railway Precinct Upgrade | 0 | 49,284 |
| AVVVA - Building Renewal | 0 | 42,000 |
| AVVVA - Kitchen Refurbishment | 0 | 36,365 |
| Aboriginal & Environmental Building | 0 | 2,100,000 |
| Carpark/ Drop Zone Old Railway Station | 36,252 | 70,376 |

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | October 2015 Actual \$ | 2015/2016 Budget \$ |
|---|---------------------------------|---------------------------|
| 1. ACQUISITION OF ASSETS (Continued) | | |
| <u>By Program (Continued)</u> | | |
| Transport | | |
| Northam Depot Relocation Feasibility | 0 | 10,000 |
| Footpath Construction | 71,409 | 530,253 |
| Rural Drainage | 0 | 106,570 |
| GEH Deproclamation Funds | 0 | 60,726 |
| Southern Brook Road RRG 15/16 | 4,855 | 249,244 |
| Jennapullin Road RRG 15/16 | 0 | 82,067 |
| Roadworks - General Construction | 158,459 | 596,917 |
| Bridge Construction | 0 | 260,000 |
| Roadworks - Roads to Recovery | 2,111 | 1,158,217 |
| Roadworks - Supplementary Funding | 0 | 237,917 |
| Laneway Land Acquisition | 1,250 | 28,500 |
| Roadworks - Blackspot Funding | 17,344 | 223,556 |
| Infra Development - Super Towns | 0 | 14,962 |
| Roadworks - Gravel Sheeting | 161,725 | 619,203 |
| Kerb Renewal | 8,211 | 107,574 |
| Culvert Renewal | 4,950 | 46,018 |
| Footpath Renewal | 75 | 80,898 |
| Plant & Equipment - Road Plant Purchases | 312,562 | 915,554 |
| Economic Services | | |
| Christmas Decorations | 9,113 | 17,436 |
| Information Bays | 27,433 | 35,857 |
| Signs Tower - GEH | 0 | 10,000 |
| Building Mtc Supervisor Vehicle | 0 | 25,000 |
| Snr Building Surveyor Vehicle | 0 | 35,000 |
| Bakers Hill Water Project | 25,616 | 25,000 |
| Wundowie Stormwater Harvest | 198,791 | 262,645 |
| Car Park Medical Centre | 56,372 | 49,314 |
| | 1,778,157 | 11,697,884 |

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | October 2015 Actual \$ | 2015/2016 Budget \$ |
|---|---------------------------------|---------------------------|
| 1. ACQUISITION OF ASSETS (Continued) | | |
| <u>By Class</u> | | |
| Land Held for Resale | 0 | 0 |
| Land and Buildings | 19,600 | 3,402,847 |
| Plant and Equipment | 456,884 | 1,279,054 |
| Furniture and Equipment | 0 | 0 |
| Bush Fire Equipment | 0 | 460,000 |
| Playground Equipment | 0 | 0 |
| Infrastructure Assets - Roads | 357,654 | 3,350,383 |
| Infrastructure Assets - Footpaths | 71,484 | 611,151 |
| Infrastructure Assets - Bridges & Culverts | 0 | 260,000 |
| Infrastructure Assets - Drainage | 286,963 | 1,010,772 |
| Infrastructure Assets - Parks & Ovals | 375,309 | 649,264 |
| Infrastructure Assets - Airfields | 0 | 0 |
| Infrastructure Assets - Streetscape | 75,635 | 264,371 |
| Infrastructure Assets - Other | 134,629 | 410,042 |
| | 1,778,157 | 11,697,884 |

SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

2. DISPOSALS OF ASSETS

The following assets have been disposed of during the period under review:

| By Program | Written Down Value | | Sale Proceeds | | Profit(Loss) | |
|---|---------------------|------------------|---------------------|------------------|---------------------|------------------|
| | October 2015 Actual | 2015/2016 Budget | October 2015 Actual | 2015/2016 Budget | October 2015 Actual | 2015/2016 Budget |
| | \$ | \$ | \$ | \$ | \$ | \$ |
| Governance | | | | | | |
| PN1315 CEO Vehicle (N4082) MV1315 | 0.00 | 46,647 | 0.00 | 29,000 | 0.00 | (17,647) |
| Law, Order, Public Safety | | | | | | |
| PN1315 CESM Vehicle (N4056) MV1303 | 0.00 | 25,001 | 0.00 | 10,000 | 0.00 | (15,001) |
| PN1223 Ranger Vehicle (N4021) MV1228 | 0.00 | 20,019 | 0.00 | 10,000 | 0.00 | (10,019) |
| PN1304 Ranger Vehicle (N4057) MV1304 | 0.00 | 21,552 | 0.00 | 10,000 | 0.00 | (11,552) |
| Health | | | | | | |
| PN1215 SEHO Vehicle (N10734) MV1218 | 0.00 | 15,995 | 0.00 | 13,000 | 0.00 | (2,995) |
| Community Amenities | | | | | | |
| PN1208 Snr Planner Vehicle (N10714) MV1208 | 0.00 | 12,000 | 0.00 | 12,000 | 0.00 | 0 |
| PN1301 SV6 Commodore Sedan (N4030) MV1302 | 0.00 | 24,726 | 0.00 | 20,000 | 0.00 | (4,726) |
| Recreation & Culture | | | | | | |
| PN1306 EMCommS Vehicle (N4092) MV1305 | 0.00 | 29,437 | 0.00 | 20,000 | 0.00 | (9,437) |
| Transport | | | | | | |
| PN0812 Wundowie Truck (N3647) 9216 | 0.00 | 25,000 | 0.00 | 31,045 | 0.00 | 6,045 |
| PN1201 Flocon (N008) MV1201 & MV1202 | 0.00 | 90,751 | 0.00 | 73,427 | 0.00 | (17,324) |
| P5029 Quad Bike (N5173) 9029 | 0.00 | 7,417 | 0.00 | 7,276 | 0.00 | (141) |
| PN0905 Ride on Mower (N3779) 9240 | 0.00 | 22,169 | 0.00 | 8,211 | 0.00 | (13,958) |
| P5017 Dynapac Vibrating Roller (N9166) 9017 | 0.00 | 3,794 | 0.00 | 3,047 | 0.00 | (747) |
| PN1009 Two Way Tip Truck (N3885) RP1009 | 0.00 | 111,342 | 0.00 | 50,000 | 0.00 | (61,342) |
| PN1205 Reticulation Utility (N10709) MV1206 | 0.00 | 8,635 | 0.00 | 12,636 | 0.00 | 4,001 |
| Flail Mower Wundowie | 0.00 | 0 | 0.00 | 5,000 | 0.00 | 5,000 |
| Other Economic Services | | | | | | |
| PN1221 Building Mtc Vehicle (N10728) MV1213 | 0.00 | 11,752 | 0.00 | 10,000 | 0.00 | (1,752) |
| PN1219 Snr Building Surveyor Vehicle (N3433) MV1224 | 0.00 | 12,434 | 0.00 | 20,000 | 0.00 | 7,566 |
| | 0.00 | 488,671 | 0.00 | 344,642 | 0.00 | (144,029) |

SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

2. DISPOSALS OF ASSETS

The following assets have been disposed of during the period under review:

| <u>By Class</u> | Written Down Value | | Sale Proceeds | | Profit(Loss) | |
|---|---------------------|------------------|---------------------|------------------|---------------------|------------------|
| | October 2015 Actual | 2015/2016 Budget | October 2015 Actual | 2015/2016 Budget | October 2015 Actual | 2015/2016 Budget |
| | \$ | \$ | \$ | \$ | \$ | \$ |
| Plant & Equipment | | | | | | |
| PN1315 CEO Vehicle (N4082) MV1315 | 0.00 | 46,647 | 0.00 | 29,000 | 0.00 | (17,647) |
| PN1315 CESM Vehicle (N4056) MV1303 | 0.00 | 25,001 | 0.00 | 10,000 | 0.00 | (15,001) |
| PN1223 Ranger Vehicle (N4021) MV1228 | 0.00 | 20,019 | 0.00 | 10,000 | 0.00 | (10,019) |
| PN1304 Ranger Vehicle (N4057) MV1304 | 0.00 | 21,552 | 0.00 | 10,000 | 0.00 | (11,552) |
| PN1215 SEHO Vehicle (N10734) MV1218 | 0.00 | 15,995 | 0.00 | 13,000 | 0.00 | (2,995) |
| PN1208 Snr Planner Vehicle (N10714) MV1208 | 0.00 | 12,000 | 0.00 | 12,000 | 0.00 | 0 |
| PN1306 EMCommS Vehicle (N4092) MV1305 | 0.00 | 29,437 | 0.00 | 20,000 | 0.00 | (9,437) |
| PN0812 Wundowie Truck (N3647) 9216 | 0.00 | 25,000 | 0.00 | 31,045 | 0.00 | 6,045 |
| PN1201 Flocon (N008) MV1201 & MV1202 | 0.00 | 90,751 | 0.00 | 73,427 | 0.00 | (17,324) |
| P5029 Quad Bike (N5173) 9029 | 0.00 | 7,417 | 0.00 | 7,276 | 0.00 | (141) |
| PN0905 Ride on Mower (N3779) 9240 | 0.00 | 22,169 | 0.00 | 8,211 | 0.00 | (13,958) |
| P5017 Dynapac Vibrating Roller (N9166) 9017 | 0.00 | 3,794 | 0.00 | 3,047 | 0.00 | (747) |
| PN1009 Two Way Tip Truck (N3885) RP1009 | 0.00 | 111,342 | 0.00 | 50,000 | 0.00 | (61,342) |
| PN1205 Reticulation Utility (N10709) MV1206 | 0.00 | 8,635 | 0.00 | 12,636 | 0.00 | 4,001 |
| Flail Mower Wundowie | 0.00 | 0 | 0.00 | 5,000 | 0.00 | 5,000 |
| PN1301 SV6 Commodore Sedan (N4030) MV1302 | 0.00 | 24,726 | 0.00 | 20,000 | 0.00 | (4,726.00) |
| PN1221 Building Mtc Vehicle (N10728) MV1213 | 0.00 | 11,752 | 0.00 | 10,000 | 0.00 | (1,752) |
| PN1219 Snr Building Surveyor Vehicle (N3433) MV1224 | 0.00 | 12,434 | 0.00 | 20,000 | 0.00 | 7,566 |
| | 0.00 | 488,671 | 0.00 | 344,642 | 0.00 | (144,029) |

11239259.81

Summary

Profit on Asset Disposals
Loss on Asset Disposals

| October 2015 Actual | 2015/2016 Budget |
|---------------------|------------------|
| \$ | \$ |
| 0.00 | 22,612 |
| 0.00 | (166,641) |
| <u>0.00</u> | <u>(144,029)</u> |

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

3. INFORMATION ON BORROWINGS

(a) Debenture Repayments

| Particulars | Principal 1-Jul-15 | New Loans | | Principal Repayments | | Principal Outstanding | | Interest Repayments | |
|------------------------------------|-----------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|
| | | 2015/2016 Budget \$ | 2015/2016 Actual \$ | 2015/2016 Budget \$ | 2015/2016 Actual \$ | 2015/2016 Budget \$ | 2015/2016 Actual \$ | 2015/2016 Budget \$ | 2015/2016 Actual \$ |
| Recreation & Culture | | | | | | | | | |
| Loan 208 - Northam Country Club ** | 25,270 | 0 | 0 | 4,919 | 2,414 | 20,351 | 22,856 | 1,938 | 935 |
| Loan 219 - Northam Bowling Club ** | 94,923 | 0 | 0 | 25,180 | 12,407 | 69,743 | 82,516 | 5,752 | 2,772 |
| Loan 223 - Recreation Facilities | 579,122 | 0 | 0 | 102,423 | 50,447 | 476,699 | 528,675 | 37,485 | 17,795 |
| Loan 224 - Recreation Facilities | 976,294 | 0 | 0 | 36,236 | 17,829 | 940,058 | 958,465 | 69,264 | 31,747 |
| Transport | | | | | | | | | |
| Loan 221 - Airstrip Upgrade | 37,519 | 0 | 0 | 11,749 | 0 | 25,770 | 37,519 | 2,435 | 6 |
| Economic Services | | | | | | | | | |
| Loan 225 - Victoria Oval Purchase | 798,785 | 0 | 0 | 29,647 | 14,587 | 769,138 | 784,198 | 56,671 | 25,975 |
| | 2,511,913 | 0 | 0 | 210,154 | 97,684 | 2,301,759 | 2,414,229 | 173,545 | 79,230 |

Note: ** indicates self - supporting loans

All other debenture repayments are to be financed by general purpose revenue.

Loan 221 - No longer a self supporting loan to Northam Aero Club now financed by general purpose revenue.

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

3. INFORMATION ON BORROWINGS

(a) Debenture Repayments

| Particulars | Principal 1-Jul-15 | New Loans | | Principal Repayments | | Principal Outstanding | | Interest Repayments | |
|------------------------------------|-----------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|
| | | 2015/2016 Budget \$ | 2015/2016 Actual \$ | 2015/2016 Budget \$ | 2015/2016 Actual \$ | 2015/2016 Budget \$ | 2015/2016 Actual \$ | 2015/2016 Budget \$ | 2015/2016 Actual \$ |
| Recreation & Culture | | | | | | | | | |
| Loan 208 - Northam Country Club ** | 25,270 | 0 | 0 | 4,919 | 2,414 | 20,351 | 22,856 | 1,938 | 935 |
| Loan 219 - Northam Bowling Club ** | 94,923 | 0 | 0 | 25,180 | 12,407 | 69,743 | 82,516 | 5,752 | 2,772 |
| Loan 223 - Recreation Facilities | 579,122 | 0 | 0 | 102,423 | 50,447 | 476,699 | 528,675 | 37,485 | 17,795 |
| Loan 224 - Recreation Facilities | 976,294 | 0 | 0 | 36,236 | 17,829 | 940,058 | 958,465 | 69,264 | 31,747 |
| Transport | | | | | | | | | |
| Loan 221 - Airstrip Upgrade | 37,519 | 0 | 0 | 11,749 | 0 | 25,770 | 37,519 | 2,435 | 6 |
| Economic Services | | | | | | | | | |
| Loan 225 - Victoria Oval Purchase | 798,785 | 0 | 0 | 29,647 | 14,587 | 769,138 | 784,198 | 56,671 | 25,975 |
| | 2,511,913 | 0 | 0 | 210,154 | 97,684 | 2,301,759 | 2,414,229 | 173,545 | 79,230 |

Note: ** indicates self - supporting loans

All other debenture repayments are to be financed by general purpose revenue.

Loan 221 - No longer a self supporting loan to Northam Aero Club now financed by general purpose revenue.

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

3. INFORMATION ON BORROWINGS (Continued)

(b) New Debentures - 2015/16

The Shire of Northam does not propose to raise any new debenture in 2015/16.

(c) Unspent Debentures

Council had no unspent debenture funds as at 30th June 2015, it is not expected to have any unspent debenture funds as at 30th June 2016.

(d) Overdraft

Council has not utilised an overdraft facility during the financial year although an overdraft facility of \$100,000 with the Bank of Western Australia does exist. It is not anticipated that this facility will be required to be utilised during 2015/16.

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | October 2015 Actual \$ | 2015/2016 Budget \$ |
|---|---------------------------------|---------------------------|
| 4. RESERVES - CASH BACKED | | |
| (a) Aged Accomodation Reserve | | |
| Opening Balance | 255,465 | 255,465 |
| Interest | 1,762 | 6,324 |
| Amount Set Aside / Transfer to Reserve | 0 | 15,900 |
| Amount Used / Transfer from Reserve | 0 | (41,380) |
| | <u>257,227</u> | <u>236,309</u> |
| (b) Employee Liability Reserve | | |
| Opening Balance | 494,602 | 494,602 |
| Interest | 3,412 | 12,213 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | (18,500) |
| | <u>498,014</u> | <u>488,315</u> |
| (c) Housing Reserve | | |
| Opening Balance | 242,782 | 242,782 |
| Interest | 1,675 | 5,995 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | <u>244,457</u> | <u>248,777</u> |
| (d) Reticulation Scheme Reserve | | |
| Opening Balance | 48,750 | 48,750 |
| Interest | 336 | 1,204 |
| Amount Set Aside / Transfer to Reserve | 0 | 40,000 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | <u>49,086</u> | <u>89,954</u> |
| (e) Office Equipment Reserve | | |
| Opening Balance | 122,458 | 122,458 |
| Interest | 845 | 3,024 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | <u>123,303</u> | <u>125,482</u> |
| (f) Plant & Equipment Reserve | | |
| Opening Balance | 600,754 | 600,754 |
| Interest | 4,144 | 15,999 |
| Amount Set Aside / Transfer to Reserve | 0 | 488,965 |
| Amount Used / Transfer from Reserve | 0 | (678,212) |
| | <u>604,898</u> | <u>427,506</u> |
| (g) Recreation Reserve | | |
| Opening Balance | 18,131 | 18,131 |
| Interest | 125 | 448 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | (18,579) |
| | <u>18,256</u> | <u>0</u> |
| (h) Road & Bridgeworks Reserve | | |
| Opening Balance | 547,453 | 547,453 |
| Interest | 3,777 | 13,479 |
| Amount Set Aside / Transfer to Reserve | 0 | 10,000 |
| Amount Used / Transfer from Reserve | 0 | (187,180) |
| | <u>551,230</u> | <u>383,752</u> |

SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | October 2015 Actual \$ | 2015/2016 Budget \$ |
|---|---------------------------------|---------------------------|
| 4. RESERVES - CASH BACKED (Continued) | | |
| (i) Refuse Site Reserve | | |
| Opening Balance | 228,755 | 228,756 |
| Interest | 1,578 | 5,649 |
| Amount Set Aside / Transfer to Reserve | 0 | 150,105 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | 230,333 | 384,510 |
| (j) Regional Development Reserve | | |
| Opening Balance | 873,646 | 873,646 |
| Interest | 6,027 | 21,573 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | (80,000) |
| | 879,673 | 815,219 |
| (k) Speedway Reserve | | |
| Opening Balance | 134,967 | 134,968 |
| Interest | 931 | 3,333 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | 135,898 | 138,301 |
| (l) Community Bus Replacement Reserve | | |
| Opening Balance | 31,138 | 31,139 |
| Interest | 215 | 769 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | 31,353 | 31,908 |
| (m) Septage Pond Reserve | | |
| Opening Balance | 324,006 | 324,006 |
| Interest | 2,235 | 8,001 |
| Amount Set Aside / Transfer to Reserve | 0 | 26,415 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | 326,241 | 358,422 |
| (n) Killara Reserve | | |
| Opening Balance | 168,620 | 154,372 |
| Interest | 1,163 | 7,000 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | (30,000) |
| | 169,784 | 131,372 |
| (o) Stormwater Drainage Projects Reserve | | |
| Opening Balance | 27,441 | 27,441 |
| Interest | 189 | 1,067 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | 27,630 | 28,508 |

SHIRE OF NORTHAM

MINUTES

COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | October 2015 Actual \$ | 2015/2016 Budget \$ |
|--|---------------------------------|---------------------------|
| 4. RESERVES - CASH BACKED (Continued) | | |
| (p) Recreation and Community Facilities Reserve | | |
| Opening Balance | 810,814 | 810,813 |
| Interest | 5,594 | 20,022 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | (431,296) |
| | <u>816,408</u> | <u>399,539</u> |
| (q) Administration Office Reserve | | |
| Opening Balance | 671,050 | 671,050 |
| Interest | 4,629 | 16,570 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | <u>675,679</u> | <u>687,620</u> |
| (r) Council Buildings & Amenities Reserve | | |
| Opening Balance | 130,204 | 130,203 |
| Interest | 898 | 3,215 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | (100,000) |
| | <u>131,102</u> | <u>33,418</u> |
| (s) River Town Pool Dredging Reserve | | |
| Opening Balance | 283,686 | 283,686 |
| Interest | 1,957 | 7,005 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | (223,600) |
| | <u>285,643</u> | <u>67,091</u> |
| (t) Parking Facilities Construction Reserve | | |
| Opening Balance | 123,583 | 123,582 |
| Interest | 853 | 3,586 |
| Amount Set Aside / Transfer to Reserve | 0 | 75,000 |
| Amount Used / Transfer from Reserve | 0 | (49,314) |
| | <u>124,436</u> | <u>152,854</u> |
| (u) Art Collection Reserve | | |
| Opening Balance | 21,219 | 21,219 |
| Interest | 146 | 524 |
| Amount Set Aside / Transfer to Reserve | 0 | 0 |
| Amount Used / Transfer from Reserve | 0 | 0 |
| | <u>21,365</u> | <u>21,743</u> |
| Total Cash Backed Reserves | <u>6,202,017</u> | <u>5,250,600</u> |
| Total Interest | 42,493 | 157,000 |

All of the above reserve accounts are to be supported by money held in financial institutions.

SHIRE OF NORTHAM
MINUTES
COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | October 2015 Actual \$ | 2015/2016 Budget \$ |
|---|---------------------------------|---------------------------|
| 4. RESERVES - CASH BACKED (Continued) | | |
| Summary of Transfers to Cash Backed Reserves | | |
| Transfers to Reserves | | |
| Aged Accommodation Reserve | 1,762 | 22,224 |
| Employee Liability Reserve | 3,412 | 12,213 |
| Housing Reserve | 1,675 | 5,995 |
| Reticulation Scheme Reserve | 336 | 41,204 |
| Office Equipment Reserve | 845 | 3,024 |
| Plant & Equipment Reserve | 4,144 | 504,964 |
| Recreation Reserve | 125 | 448 |
| Road & Bridgeworks Reserve | 3,777 | 23,479 |
| Refuse Site Reserve | 1,578 | 155,754 |
| Regional Development Reserve | 6,027 | 21,573 |
| Speedway Reserve | 931 | 3,333 |
| Community Bus Replacement Reserve | 215 | 769 |
| Septage Pond Reserve | 2,235 | 34,416 |
| Killara Reserve | 1,163 | 7,000 |
| Stormwater Drainage Projects Reserve | 189 | 1,067 |
| Recreation and Community Facilities Reserve | 5,594 | 20,022 |
| Administration Office Reserve | 4,629 | 16,570 |
| Council Buildings & Amenities Reserve | 898 | 3,215 |
| River Town Pool Dredging Reserve | 1,957 | 7,005 |
| Parking Facilities Construction Reserve | 853 | 78,586 |
| Art Collection Reserve | 146 | 524 |
| | <u>42,493</u> | <u>963,385</u> |
| Transfers from Reserves | | |
| Aged Accommodation Reserve | 0 | (41,380) |
| Employee Liability Reserve | 0 | (18,500) |
| Housing Reserve | 0 | 0 |
| Reticulation Scheme Reserve | 0 | 0 |
| Office Equipment Reserve | 0 | 0 |
| Plant & Equipment Reserve | 0 | (678,212) |
| Recreation Reserve | 0 | (18,579) |
| Road & Bridgeworks Reserve | 0 | (187,180) |
| Refuse Site Reserve | 0 | 0 |
| Regional Development Reserve | 0 | (80,000) |
| Speedway Reserve | 0 | 0 |
| Community Bus Replacement Reserve | 0 | 0 |
| Septage Pond Reserve | 0 | 0 |
| Killara Reserve | 0 | (30,000) |
| Stormwater Drainage Projects Reserve | 0 | 0 |
| Recreation and Community Facilities Reserve | 0 | (431,296) |
| Administration Office Reserve | 0 | 0 |
| Council Buildings & Amenities Reserve | 0 | (100,000) |
| River Town Pool Dredging Reserve | 0 | (223,600) |
| Parking Facilities Construction Reserve | 0 | (49,314) |
| Art Collection Reserve | 0 | 0 |
| | <u>0</u> | <u>(1,858,061)</u> |
| Total Transfer to/(from) Reserves | <u>42,493</u> | <u>(894,676)</u> |

SHIRE OF NORTHAM

MINUTES

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SHIRE OF NORTHAM

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FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

4. RESERVES (Continued)

In accordance with council resolutions in relation to each reserve account, the purpose for which the reserves are set aside are as follows:

Aged Accommodation Reserve

Provision of future capital works requirements for aged units at Kuringal Village, Wundowie, and other sites within the Shire of Northam.

Employee Liability Reserve

Provision for employees future liability commitments, ie annual leave, long service leave requirements and negotiated gratuities and sickness payouts.

Housing Reserve

Reserve established for future construction of Community Housing in Wundowie.

Reticulation Scheme Reserve

Provision for future replacement/upgrading of water reuse and reticulation infrastructure. Funds not expected to be used in a set period as further transfer to the reserve account are expected as funds are utilised.

Office Equipment Reserve

Acquisition and upgrading of Council offices, furniture, computers and general equipment. Funds not expected to be used in a set period as further transfer to the reserve account are expected as funds are utilised.

Plant & Equipment Reserve

Acquisition and upgrading of Council works plant and general equipment in accordance with plant replacement program. Funds not expected to be used in a set period as further transfer to the reserve account are expected as funds are utilised.

Recreation Reserve

Purpose - Development and improvement of recreation and sporting facilities within the Shire of Northam. It is anticipated that this reserve will be fully utilised in 2015/16.

Road & Bridgeworks Reserve

Provision for upgrading of road and bridge infrastructure within the Shire of Northam. Funds not expected to be used in a set period as further transfer to the reserve account are expected as funds are utilised.

Refuse Site Reserve

Purpose - Development of Refuse Sites and related infrastructure and equipment, including provision for future replacement facility and/or site. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

Regional Development Reserve

Purpose - To provide for future projects whereby a broader range of development ideas may be required to be encouraged on a regional basis, in consultation with other stakeholders and/or Local Governments. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

Speedway Reserve

Purpose - To provide funds for possible future rehabilitation works required at the Northam Speedway site on Fox Road Northam. No date has been specified for the use of this Reserve.

Community Bus Replacement Reserve

Purpose - To provide funds for future replacement of the Shire of Northam Community Buses. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

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4. RESERVES (Continued)

Septic Pond Reserve

Purpose - To provide for funds for future upgrades and maintenance to septic ponds and related infrastructure. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

Killara Reserve

Purpose - To provide a fund for surplus funds from Killara Operations and a restricted cash for and unspent Killara Grants. No date has been specified for the use of this Reserve.

Stormwater Drainage Projects Reserve

Purpose - To provide funds for stormwater drainage projects. No date has been specified for the use of this Reserve.

Recreation and Community Facilities Reserve

Purpose - To provide fund for Recreation and Public Facilities within the Shire of Northam. No date has been specified for the use of this Reserve. 2% of net rates levied each year set aside for the provision of recreation and sport facilities.

Administration Office Reserve

Purpose - To provide a fund for the expansion or relocation of the Shire of Northam Administration Centre. No date has been specified for the use of this Reserve.

Council Buildings & Amenities Reserve

Purpose - Provision for maintenance and upgrading of Council buildings and amenities. Funds not expected to be used in a set period as further transfer to the reserve account are anticipated.

River Town Pool Dredging Reserve

Purpose - Provision for dredging and maintenance of the River Town Pool. Funds not expected to be used in a set period as further transfers to the reserve account are anticipated.

Parking Facilities Construction Reserve

Purpose - Provision for future car parking facilities. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

Art Collection Reserve

Purpose - Provision for the care and maintenance of the Shire of Northam's art collection, including acquisitions and disposal. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | October 2015 Actual \$ | 2014/2015 Financial Report \$ | 2015/2016 Budget \$ |
|--|---|--|------------------------------------|
| 5. NET CURRENT ASSETS | | | |
| Composition of Estimated Net Current Asset Position | | | |
| CURRENT ASSETS | | | |
| Cash - Unrestricted | 5,815,551 | 3,118,600 | 200,000 |
| Cash - Restricted Unspent Grants | 1,646,770 | 2,107,310 | 0 |
| Cash - Restricted Unspent Loans | 0 | 0 | 0 |
| Cash - Restricted Reserves | 6,202,016 | 6,159,524 | 5,250,600 |
| Self Supporting Loan | 15,277 | (5,322) | |
| Sundry Debtors | 684,473 | 1,424,105 | 1,141,850 |
| Rates - Current | 4,088,022 | 1,136,116 | 0 |
| Pensioners Rates Rebate | 88,892 | 16,222 | 0 |
| Provision for Doubtful Debts | (124,729) | (124,729) | 0 |
| GST Receivable | 171 | 175,694 | 0 |
| Accrued Income/Prepayments | 0 | 11,693 | 0 |
| Inventories | 0 | 30,222 | 10,000 |
| | <u>18,416,443</u> | <u>14,049,435</u> | <u>6,602,450</u> |
| LESS: CURRENT LIABILITIES | | | |
| Sundry Creditors | (816,791) | (1,207,536) | (2,159,557) |
| Rates Income in Advance | (39,070) | 0 | 0 |
| GST Payable | (171) | (104,067) | 0 |
| Accrued Salaries & Wages | 0 | 0 | 0 |
| Accrued Interest on Debentures | (35,862) | (35,862) | 0 |
| Payroll Creditors | 0 | (202,109) | 0 |
| Accrued Expenditure | 0 | 0 | 0 |
| Withholding Tax Payable | 0 | 0 | 0 |
| Payg Payable | 123,357 | (26,147) | 0 |
| Loan Liability | (112,468) | (210,153) | |
| Provision for Annual Leave | (491,486) | (534,837) | |
| Provision for Long Service Leave | (297,881) | (320,601) | |
| Other Payables | 0 | 0 | 0 |
| | <u>(1,670,372)</u> | <u>(2,641,312)</u> | <u>(2,159,557)</u> |
| NET CURRENT ASSET POSITION | 16,746,071 | 11,408,123 | 4,442,893 |
| Less: Cash - Reserves - Restricted | (6,202,016) | (6,159,524) | (5,250,600) |
| Less: Cash - Unspent Grants - Restricted | 0 | 0 | 0 |
| Add: Current Loan Liability | 112,468 | 210,153 | 223,416 |
| Add: Leave Liability Reserve | 498,014 | 494,602 | 488,315 |
| Add: Budgetted Leave | 100,000 | 100,000 | 100,000 |
| ESTIMATED SURPLUS/(DEFICIENCY) C/FWD | <u>11,254,537</u> | <u>6,053,354</u> | <u>4,024</u> |

SHIRE OF NORTHAM
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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

6. RATING INFORMATION

| RATE TYPE | Rate in \$ | Number of Properties | Rateable Value \$ | 2015/2016 Rate Revenue \$ | 2015/2016 Interim Rates \$ | 2015/2016 Back Rates \$ | 2015/2016 Total Revenue \$ | 2015/2016 Budget \$ |
|--------------------------------------|---------------|----------------------------|-------------------------|------------------------------------|-------------------------------------|----------------------------------|-------------------------------------|---------------------------|
| General Rate | | | | | | | | |
| 00 Non-Rateable | 0.0000 | 700 | 3,343,912 | 0 | 0 | 0 | 0 | 0 |
| 01 GRV-Townsites Residential | 10.5571 | 2,988 | 37,552,380 | 3,964,443 | (477) | 0 | 3,963,966 | 3,981,043 |
| 02 GRV-Northam Commercial/Industrial | 11.6252 | 248 | 11,255,466 | 1,308,470 | 0 | 0 | 1,308,470 | 1,309,570 |
| 05 Agricultural Local | 0.5679 | 519 | 160,924,000 | 913,888 | (458) | (1,255) | 912,175 | 918,988 |
| 06 Agricultural Regional | 0.4706 | 208 | 111,632,000 | 525,340 | 0 | 0 | 525,340 | 530,440 |
| 07 Rural Small Holdings | 0.6474 | 546 | 95,829,000 | 620,397 | 0 | 0 | 620,397 | 623,497 |
| Sub-Totals | | 5,209 | 420,536,758 | 7,332,538 | (935) | (1,255) | 7,330,348 | 7,363,538 |
| Minimum Rates | | | | | | | | |
| | | Minimum \$ | | | | | | |
| 01 GRV-Northam Town Gen | 865 | 914 | 4,211,349 | 791,475 | 0 | 0 | 791,475 | 790,610 |
| 02 GRV-Northam Town Diff | 865 | 48 | 185,998 | 41,520 | 0 | 0 | 41,520 | 41,520 |
| 05 Agricultural Local | 865 | 136 | 11,523,418 | 117,640 | 0 | 0 | 117,640 | 117,640 |
| 06 Agricultural Regional | 865 | 205 | 23,189,539 | 177,325 | 0 | 0 | 177,325 | 177,325 |
| 07 Rural Small Holdings | 865 | 106 | 13,223,000 | 91,690 | 0 | 0 | 91,690 | 91,690 |
| Sub-Totals | | 1,409 | 52,333,304 | 1,219,650 | 0 | 0 | 1,219,650 | 1,218,785 |
| | | | | | | | 8,549,998 | 8,582,323 |
| Ex-Gratia Rates | | | | | | | 0 | 12,900 |
| Excess Rate Receipts | | | | | | | (158,077) | 0 |
| Totals | | | | 8,552,188 | (935) | (1,255) | 8,391,921 | 8,595,223 |

SHIRE OF NORTHAM
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SHIRE OF NORTHAM

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6. RATING INFORMATION (Continued)

All land except exempt land in the Shire of Northam is rated according to its Gross Rental Value (GRV) in townsites or Unimproved Value (UV) in the remainder of the Shire.

The general rates detailed above for the 2015/16 financial year have been determined by Council on the basis of raising the revenue required to meet the deficiency between the total estimated expenditure proposed in the budget and the estimated revenue to be received from all sources other than rates and also considering the extent of any increase in rating over the level adopted in the previous year.

The minimum rates have been determined by Council on the basis that all ratepayers must make a reasonable contribution to the cost of the Local Government services/facilities.

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SHIRE OF NORTHAM

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FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

7. TRUST FUNDS

Funds held at balance date over which the Municipality has no control and which are not included in this statement are as follows:

| Detail | | Balance 01-Jul-15 \$ | Amounts Received \$ | Amounts Paid (\$) | Balance \$ |
|----------------------------|----|----------------------------|---------------------------|-------------------------|------------------|
| Town Hall Bond | 1 | 1,500 | 500 | (500) | 1,500 |
| Lesser Hall Bond | 2 | 900 | 1,500 | (500) | 1,900 |
| Nomination Deposits | 4 | 0 | 640 | 80 | 720 |
| Library Deposits & Income | 5 | 0 | 0 | 0 | 0 |
| POS - Cash in Lieu | 6 | 338,929 | 3,090 | 0 | 342,019 |
| Bonds - Building | 7 | 34,500 | 0 | 0 | 34,500 |
| Crossovers - Bond | 9 | 86,392 | 0 | 0 | 86,392 |
| Recreation Centre Bond | 11 | 400 | 0 | 0 | 400 |
| Facilities - Bonds | 18 | 200 | 0 | 0 | 200 |
| Footpath/Kerbing Deposit | 22 | 96,500 | 9,000 | (9,500) | 96,000 |
| Retentions | 26 | 169,175 | 11,618 | (25,720) | 155,073 |
| Sundry Trust | 27 | 13,310 | 0 | 0 | 13,310 |
| Building & Construction (E | 29 | 0 | 17,110 | (15,676) | 1,434 |
| Builders Reg Board Levy | 30 | 0 | 15,838 | (14,116) | 1,722 |
| Standpipe Key | 31 | 6,900 | 150 | (100) | 6,950 |
| Resited Dwellings | 32 | 37,200 | 303 | 0 | 37,503 |
| Deposits-Extractive Indust | 33 | 261,548 | 2,492 | 0 | 264,040 |
| Other | 34 | 15,747 | 0 | 0 | 15,747 |
| Other - Rental Bond | 35 | 200 | 0 | 0 | 200 |
| Bonds - Animal Traps | 36 | 130 | 167 | (167) | 130 |
| Storm Damage Donations | 38 | 175 | 0 | 0 | 175 |
| | | <u>1,063,706</u> | <u>62,408</u> | <u>(66,199)</u> | <u>1,059,915</u> |

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

8. OPERATING STATEMENT

| | October 2015 Actual \$ | 2015/2016 Budget \$ | 2014/2015 Actual \$ |
|---|---------------------------------|---------------------------|---------------------------|
| OPERATING REVENUES | | | |
| Governance | 46,689 | 54,800 | 99,624 |
| General Purpose Funding | 8,995,874 | 10,772,405 | 14,635,200 |
| Law, Order, Public Safety | 79,266 | 1,044,095 | 431,881 |
| Health | 4,274 | 50,000 | 38,907 |
| Education and Welfare | 564,870 | 1,333,066 | 1,233,363 |
| Housing | 12,415 | 46,465 | 44,286 |
| Community Amenities | 1,807,528 | 2,469,929 | 3,594,743 |
| Recreation and Culture | 100,800 | 3,023,244 | 722,954 |
| Transport | 503,588 | 2,277,699 | 1,459,102 |
| Economic Services | 104,544 | 574,419 | 1,528,375 |
| Other Property and Services | 50,382 | 54,200 | 78,198 |
| TOTAL OPERATING REVENUE | 12,270,230 | 21,700,322 | 23,866,634 |
| OPERATING EXPENSES | | | |
| Governance | 419,758 | 1,201,997 | 1,217,592 |
| General Purpose Funding | 86,117 | 364,868 | 355,250 |
| Law, Order, Public Safety | 352,648 | 1,131,201 | 1,087,825 |
| Health | 123,662 | 296,919 | 375,458 |
| Education and Welfare | 447,698 | 1,502,295 | 1,376,796 |
| Housing | 32,071 | 105,856 | 102,994 |
| Community Amenities | 885,144 | 3,419,277 | 3,021,439 |
| Recreation & Culture | 1,490,760 | 4,285,143 | 3,952,063 |
| Transport | 2,851,202 | 4,760,181 | 4,646,373 |
| Economic Services | 683,818 | 2,036,106 | 1,827,167 |
| Other Property and Services | 176,717 | 27,040 | 210,182 |
| TOTAL OPERATING EXPENSE | 7,549,595 | 19,130,883 | 18,173,139 |
| CHANGE IN NET ASSETS RESULTING FROM OPERATIONS | 4,720,635 | 2,569,439 | 5,693,495 |

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

9. BALANCE SHEET

| | October 2015 Actual \$ | 2014/2015 Actual \$ |
|--------------------------------------|---------------------------------|---------------------------|
| CURRENT ASSETS | | |
| Cash Assets | 13,664,337 | 11,385,434 |
| Receivables | 4,752,107 | 2,633,780 |
| Inventories | 0 | 30,221 |
| TOTAL CURRENT ASSETS | <u>18,416,444</u> | <u>14,049,435</u> |
| NON-CURRENT ASSETS | | |
| Receivables | 400,038 | 435,458 |
| Inventories | 0 | 0 |
| Land | 16,575,350 | 16,574,100 |
| Property, Plant and Equipment | 40,576,787 | 40,558,374 |
| Infrastructure | <u>189,843,339</u> | <u>190,623,664</u> |
| TOTAL NON-CURRENT ASSETS | <u>247,395,514</u> | <u>248,191,596</u> |
| TOTAL ASSETS | <u>265,811,958</u> | <u>262,241,031</u> |
| CURRENT LIABILITIES | | |
| Payables | 768,539 | 1,722,671 |
| Interest-bearing Liabilities | 112,468 | 207,198 |
| Provisions | <u>789,367</u> | <u>855,439</u> |
| TOTAL CURRENT LIABILITIES | <u>1,670,372</u> | <u>2,785,308</u> |
| NON-CURRENT LIABILITIES | | |
| Interest-bearing Liabilities | 2,301,760 | 2,301,760 |
| Provisions | <u>158,484</u> | <u>158,484</u> |
| TOTAL NON-CURRENT LIABILITIES | <u>2,460,244</u> | <u>2,460,244</u> |
| TOTAL LIABILITIES | <u>4,130,616</u> | <u>5,245,552</u> |
| NET ASSETS | <u>261,681,342</u> | <u>256,995,479</u> |
| EQUITY | | |
| Retained Surplus | 84,559,212 | 79,915,843 |
| Reserves - Cash Backed | 6,202,016 | 6,159,524 |
| Reserves - Asset Revaluation | <u>170,920,113</u> | <u>170,920,113</u> |
| TOTAL EQUITY | <u>261,681,341</u> | <u>256,995,480</u> |

SHIRE OF NORTHAM
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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

10. FINANCIAL RATIO

| | 2016 YTD | 2015 | 2014 | 2013 |
|---------------|-------------|------|------|------|
| Current Ratio | 9.01 | 2.52 | 1.43 | 1.82 |

The above rates are calculated as follows:

| | |
|----------------------|--|
| Current Ratio equals | $\frac{\text{Current assets minus restricted current assets}}{\text{Current liabilities minus liabilities associated with restricted assets}}$ |
|----------------------|--|

SHIRE OF NORTHAM

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COUNCIL MEETING HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

| | NOTE | October 2015 Actual \$ | October 2015 Y-T-D Budget \$ | Projected 2015/2016 Budget \$ | Variances Actuals to Budget \$ | Variances Actual Budget to Y-T-D % | |
|---|------|---------------------------------|---------------------------------------|--|---|--|--|
| Operating | | | | | | | |
| Revenues/Sources | 8 | | | | | | |
| Governance | | 46,689 | 18,248 | 54,800 | 28,441 | 155.86% | Insurance Rebate |
| General Purpose Funding Other | | 445,876 | 593,226 | 2,190,082 | (147,350) | (24.84%) | Grants Commission Funding timing |
| General Purpose Funding Rates | | 8,549,998 | 2,860,440 | 8,582,323 | 5,689,558 | 198.91% | Rates levied in August, Timing on DFES capital grant funding new plant, BFB and SES Operating Grant |
| Law, Order, Public Safety | | 79,266 | 347,996 | 1,044,095 | (268,730) | (77.22%) | |
| Health | | 4,274 | 16,664 | 50,000 | (12,390) | (74.35%) | Fewer Health Licences issued compared to budget |
| Education and Welfare | | 564,870 | 444,332 | 1,333,066 | 120,538 | 27.13% | HACC & NRCP funding received. |
| Housing | | 12,415 | 15,480 | 46,465 | (3,065) | (19.80%) | |
| Community Amenities | | 1,807,528 | 823,272 | 2,469,929 | 984,256 | 119.55% | Rates levied in August for bin charges for the year |
| Recreation and Culture | | 100,800 | 1,007,676 | 3,023,244 | (906,876) | (90.00%) | Timing on grant income NSRF, AVVA and the Balcony on the Town Hall |
| Transport | | 503,588 | 519,717 | 2,277,699 | (16,129) | (3.10%) | Timing on grant income MRWA, RRG and Blackspot Funding |
| Economic Services | | 104,544 | 191,412 | 574,419 | (86,868) | (45.38%) | Additional revenue for the Avon Festival |
| Other Property and Services | | 50,382 | 18,056 | 54,200 | 32,326 | 179.03% | |
| | | 12,270,230 | 6,856,519 | 21,700,322 | 5,413,711 | 78.96% | |
| (Expenses)/(Applications) | 8 | | | | | | |
| Governance | | (419,758) | (441,107) | (1,201,997) | 21,349 | 4.84% | Timing on expenditure relating to Insurance Expense, Financial Consultants, Recruitment |
| General Purpose Funding | | (86,117) | (121,612) | (364,868) | 35,495 | 29.19% | |
| Law, Order, Public Safety | | (352,648) | (394,275) | (1,131,201) | 41,627 | 10.56% | Timing on budget allocations |
| Health | | (123,662) | (102,378) | (296,919) | (21,284) | (20.79%) | |
| Education and Welfare | | (447,698) | (503,143) | (1,502,295) | 55,445 | 11.02% | Timing of Community sponsorship, higher depreciation charges |
| Housing | | (32,071) | (37,233) | (105,856) | 5,162 | 13.86% | |
| Community Amenities | | (885,144) | (1,142,595) | (3,419,277) | 257,451 | 22.53% | Additional Pool Expenses and Depreciation |
| Recreation & Culture | | (1,490,760) | (1,510,611) | (4,285,143) | 19,851 | 1.31% | Timing on budget allocations |
| Transport | | (2,851,202) | (1,752,876) | (4,760,181) | (1,098,326) | (62.66%) | Timing on budget allocations for Insurance and additional depreciation expenses |
| Economic Services | | (683,818) | (745,179) | (2,036,106) | 61,361 | 8.23% | Timing on budget allocations |
| Other Property and Services | | (176,717) | (60,368) | (27,040) | (116,349) | (192.73%) | Insurance payments paid, will level back incoming months |
| | | (7,549,595) | (6,811,377) | (19,130,883) | (738,218) | 10.84% | |
| Adjustments for Non-Cash (Revenue) and Expenditure | | | | | | | |
| (Profit)/Loss on Asset Disposals | 2 | 0 | 48,010 | 144,029 | (48,010) | 100.00% | Assets not disposed of in the asset register |
| Movement in Accrued Interest | | 0 | 0 | 0 | 0 | 0.00% | |
| Movement in Accrued Salaries and Wages | | 0 | 0 | 0 | 0 | 0.00% | |
| Movement in Deferred Pensioner Rates/ESL | | 0 | 0 | 0 | 0 | 0.00% | |
| Movement in Employee Benefit Provisions | | (66,072) | 0 | 0 | (66,072) | 0.00% | |
| Depreciation on Assets | | 2,507,001 | 1,087,852 | 3,263,710 | 1,419,149 | (130.45%) | Fair Valuation increased the value of the assets and thus annual depreciation charges |

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SHIRE OF NORTHAM
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015


| | NOTE | October 2015 Actual \$ | October 2015 Y-T-D Budget \$ | Projected 2015/2016 Budget \$ | Variences Actuals to Budget \$ | Variences Actual Budget to Y-T-D % | |
|---|------|---------------------------------|---------------------------------------|--|---|--|---|
| <u>Operating</u> | | | | | | | |
| <u>Capital Revenue and (Expenditure)</u> | | | | | | | |
| Purchase Land Held for Resale | 1 | 0 | 0 | 0 | 0 | 0.00% | |
| Purchase Land and Buildings | 1 | (19,600) | (3,402,847) | (3,402,847) | 3,383,247 | 99.42% | Timing on building works |
| Purchase Plant and Equipment | 1 | (456,884) | (1,279,054) | (1,279,054) | 822,170 | 64.28% | Timing on plant purchases |
| Purchase Furniture and Equipment | 1 | 0 | 0 | 0 | 0 | 0.00% | |
| Purchase Bush Fire Equipment | 1 | 0 | (460,000) | (460,000) | 460,000 | 100.00% | Timing unknown for supply by DFES |
| Purchase Playground Equipment | 1 | 0 | 0 | 0 | 0 | 0.00% | |
| Purchase Infrastructure Assets - Roads | 1 | (357,654) | (3,350,383) | (3,350,383) | 2,992,729 | 89.32% | Timing on budget allocations |
| Purchase Infrastructure Assets - Bridges | 1 | 0 | 0 | (260,000) | 0 | #DIV/0! | Quotes obtained - project to be carried forward |
| Purchase Infrastructure Assets - Footpaths | 1 | (71,484) | (176,732) | (611,151) | 105,248 | 59.55% | Timing on budget allocations |
| Purchase Infrastructure Assets - Drainage | 1 | (286,963) | (1,010,772) | (1,010,772) | 723,809 | 71.61% | Timing on budget allocations |
| Purchase Infrastructure Assets - Parks & Ovals | 1 | (375,309) | (649,264) | (649,264) | 273,955 | 42.19% | Timing on budget allocations |
| Purchase Infrastructure Assets - Airfields | 1 | 0 | 0 | 0 | 0 | 0.00% | |
| Purchase Infrastructure Assets - Streetscape | 1 | (75,635) | (88,116) | (264,371) | 12,481 | 14.16% | |
| Purchase Infrastructure Assets - Other | 1 | (134,629) | (410,042) | (410,042) | 275,413 | 67.17% | Timing on budget allocations |
| Proceeds from Disposal of Assets | 2 | 0 | 114,881 | 344,642 | (114,881) | 100.00% | Assets not disposed of |
| Repayment of Debentures | 3 | (97,684) | (70,040) | (210,154) | (27,644) | (39.47%) | |
| Proceeds from New Debentures | 3 | 0 | 0 | 0 | 0 | 0.00% | |
| Advances to Community Groups | | 0 | 0 | 0 | 0 | 0.00% | |
| Self-Supporting Loan Principal Income | 3 | 14,821 | 10,033 | 30,099 | 4,788 | (47.72%) | |
| Transfers to Restricted Assets (Reserves) | 4 | (42,493) | (963,385) | (963,385) | 920,892 | 95.59% | |
| Transfers from Restricted Asset (Reserves) | 4 | 0 | 1,858,061 | 1,858,061 | (1,858,061) | 100.00% | |
| Transfers from Restricted Asset (Other) | | 0 | 0 | 0 | 0 | 0.00% | |
| ADD Net Current Assets July 1 B/Fwd | 5 | 5,911,724 | 5,911,724 | 5,919,675 | 0 | 0.00% | |
| LESS Net Current Assets Year to Date | 5 | 11,239,260 | 4,024 | 4,024 | 11,235,236 | 279205.66% | |
| Amount Raised from Rates | 6 | <u>65,143</u> | <u>(2,788,956)</u> | <u>1,254,208</u> | <u>2,854,100</u> | <u>(102.34%)</u> | |

This statement is to be read in conjunction with the accompanying notes.

BANK RECONCILIATION STATEMENT
 Period Ending 31st October 2015

| | Muni Fund Shire | Trust Fund Shire | Reserve A/c Shire | Unspent DRD DRAINAGE FUNDS Shire |
|---|-----------------------|-----------------------|-----------------------|--|
| Balance as per Bank Statements | | | | |
| ANZ | 2645-61889 | \$ 67,140.99 | | |
| Business Bonus | 028-0331279 | \$5,831,136.20 | | |
| Muni Operating A/C | 028-5350119 | \$93,578.90 | | |
| WA TREASURY BANK | | \$610,360.97 | | |
| Term Deposit (Trust)T183 | 028-038059-9 | | \$26,909.31 | |
| Term Deposit (Trust)T398 | 028-0387254 | | \$34,903.92 | |
| ANZ Term Deposit (Trust) POS | 9975-02546 | | \$342,019.18 | |
| Term Deposit (Trust) Extractive Industry | 028-695773-2 | | \$95,385.58 | |
| Term Deposit (Trust)T376 & T440 | 028-0392516 | | \$82,561.95 | |
| Term Deposit (Trust)T527 | 028-0386517 | | \$24,279.11 | |
| Trust Operating A/C | 028-5350143 | | \$350,628.61 | |
| Term Deposit (Trust T701) | 028-0397045 | | \$42,266.71 | |
| Term Deposit (Trust T823) | 028-0403591 | | \$30,307.33 | |
| Term Deposit (Trust 825) | 028-0403583 | | \$30,303.29 | |
| Business Bonus(Reserve) | 028-0364535 | | \$1,435,606.39 | |
| Term Dep Term Deposit | 028-0390108 | | \$683,710.73 | |
| ANZ Term Deposit | 997465749 | | \$2,026,769.55 | |
| Term Deposit | 028-0400828 | | \$2,055,929.59 | |
| WATC OCDF 066-040 19300000 | | | | \$1,036,408.69 |
| Total As Per Bank Statements | \$6,402,217.06 | \$1,059,564.99 | \$6,202,016.26 | \$1,036,408.69 |
| Plus | | | | |
| Outstanding Deposits | 40,296.12 | 906.87 | | |
| Outstanding Dep (Trust) | | | | |
| Outstanding Dep (Muni) | | | | |
| | \$40,296.12 | \$906.87 | \$0.00 | \$0.00 |
| Less | | | | |
| Unpresented Cheques | (20,131.40) | (556.00) | | |
| | (\$20,131.40) | (\$556.00) | \$0.00 | \$0.00 |
| Adjustments | | | | |
| Transfer from Muni to Reserve | | | | |
| Transfer from Reserve to Muni | | | | |
| Transfer of bank fee charges Unspent Grants | | | | |
| Bank Statement Balance after Adjustments | \$6,422,381.78 | \$1,059,915.86 | \$6,202,016.26 | \$1,036,408.69 |
| General Ledger Accounts | | | | |
| 1110000010 MUNI BANK | 5,812,020.81 | | | |
| 1111800010 Trust Bank | | 1,059,915.86 | | |
| 1111001010 Short Term Investment | 610,360.97 | | | |
| 1111501010 Reserve Inv Bank | | | 6,202,016.26 | |
| 1111002010 Unspent Grant | | | | \$1,036,408.69 |
| Balance Per General Ledger Accounts | \$6,422,381.78 | \$1,059,915.86 | \$6,202,016.26 | \$1,036,408.69 |
| IMBALANCE | \$0.00 | \$0.00 | \$0.00 | \$0.00 |

Prepared by 
 POSITION : FINANCE OFFICER

Confirmed by 
 POSITION : ACCOUNTANT

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13.3.3 RATES EXEMPTION – LOT 25 (4) ELIZABETH PLACE, NORTHAM

| | |
|--------------------|----------------------------|
| Name of Applicant: | Holyoake |
| File Ref: | 8.1.1.3 / A14018 |
| Officer: | Cary Green / Codey Redmond |
| Officer Interest: | Nil |
| Policy: | Nil |
| Voting: | Simple Majority |
| Date: | 16 December 2015 |

PURPOSE

Seeking Council endorsement for a rate exemption on A14018 under the Local Government Act s6.26. (2)(g) land used exclusively for charitable purposes.

BACKGROUND

An Application for rate exemption was received 28 October 2015 from Holyoake requesting a rate exemption for the property they lease owned by Geoff Way PTY LTD.

Holyoake has provided the following documentation;

- Application for rates exemption
- Statutory Declaration supporting application
- Certificate of Incorporation
- ABN Registration
- Certification as a registered charity
- Copy of the lease
- Audited financials for year 2014/15
- Budget for Wheatbelt division for next 5 years
- Wheatbelt region annual business plan
- Holyoake's Constitution

The above documentation supports the request that the property is used exclusively for charitable purposes, as required by the Local Government Act 1995. As per requirements the Owner has paid all rates and charges for 2015/2016. A refund of the rate portion of \$3,264.36 would be required, if this exemption application was successful.

STATUTORY IMPACTS

The Local Government Act 1995 Section 6.26(2) defines land that is not rateable, allowing Council to grant an exemption of rates.

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- (2) *The following land is not rateable land -*
- (g) land used exclusively for charitable purposes;*

CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN

Nil.

FINANCIAL IMPLICATIONS

The applied exemption will reduce rate revenue by \$3,264.36 for 2015/2016. Holyoake would still be required to pay all rubbish service charges and the emergency services levy applicable to this property.

OFFICER'S COMMENT

Holyoake's certificate of registered charity and mission statement provided support their claim as a charitable organisation. The documents provided show Holyoake meets the criteria for a rate exemption as per s6.26(2)(g) of the Local Government Act 1995. It is recommended to Council that the exemption be granted.

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2610

Moved: Cr Hughes
Seconded: Cr Tinetti

That Council grant a rate exemption to Holyoake, for land leased at Lot 25 (4) Elizabeth Place, Northam. As the land meets the requirement of the Local Government Act s6.26(2)(d) being used exclusively for charitable purposes.

CARRIED 10/0

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13.3.4 RATES EXEMPTION – LOT 378 (11) FAIRWAY BEND, NORTHAM

| | |
|--------------------|--------------------------------|
| Name of Applicant: | Northam City Room Gospel Trust |
| File Ref: | 8.1.1.3 / A15035 |
| Officer: | Cary Green / Codey Redmond |
| Officer Interest: | Nil |
| Policy: | Nil |
| Voting: | Simple Majority |
| Date: | 16 December 2015 |

PURPOSE

Seeking Council endorsement for a rate exemption on A13102 under the Local Government Act s6.26. (2)(d) land used or held exclusively by a religious body as a place of public worship or in relation to that worship, a place of residence of a minister of religion, a convent, nunnery or monastery, or occupied exclusively by a religious brotherhood or sisterhood.

BACKGROUND

An Application for rate exemption was received 19 October 2015 from Andrew Draffin as trustee for the Northam City Room Gospel Trust requesting a rate exemption as a place of worship for the property at Lot 378 (11) Fairway Bend, Northam.

Mr Draffin has provided the following documentation;

- Application for rates exemption
- Statutory Declaration supporting application
- Profit & Loss Statement (2 Years)
- Balance Sheet (2 Years)
- Source of income/ Donations

The above documentation supports the request that the property is used exclusively as a place of worship, as required by the Local Government Act 1995. The Northam City Room Gospel Trust has not paid the rates and ESL charges in anticipation of this exemption for 2015/2016.

STATUTORY IMPACTS

The Local Government Act 1995 Section 6.26(2) defines land that is not rateable, allowing Council to grant an exemption of rates.

6.27 Rateable Land

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(2) *The following land is not rateable land -*

(d) land used or held exclusively by a religious body as a place of public worship or in relation to that worship, a place of residence of a minister of religion, a convent, nunnery or monastery, or occupied exclusively by a religious brotherhood or sisterhood.

CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN

Nil

FINANCIAL IMPLICATIONS

The applied exemption will reduce rate revenue by \$865.00 for 2015/2016. The Northam City Room Gospel Trust would still be required to pay the emergency services levy applicable to this property.

OFFICER'S COMMENT

the Northam City Room Gospel Trust has provided the relevant documentation showing it meets the criteria for a rate exemption as per s6.26(2)(g) of the Local Government Act 1995. The building and construction was approved by council in resolution C2240, to have a place of worship built at Lot 37 Fairway Bend. It is recommended to Council that the exemption be granted.

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2611

Moved: Cr Hughes

Seconded: Cr Antonio

That Council grant a rate exemption to the Northam City Room Gospel, for Lot 378 (11) Fairway Bend, Northam. As the land meets the requirement of the Local Government Act s6.26(2)(d) being used exclusively as a place of public worship.

CARRIED 7/3

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13.4. COMMUNITY SERVICES

Nil.

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13.5. ENGINEERING SERVICES

Cr C R Antonio declared an "Indirect Financial" interest in item 13.5.1 – Tender 20 of 2015 – Replacement of Bridge 5029 – Spencers Brook Road – Clackline as the applicant is a client of his employer. Applicant pays fees to his employer, who in turn, pay his salary.

Cr Antonio departed the Council Chambers at 6.28pm

13.5.1 TENDER 20 OF 2015 - REPLACEMENT OF BRIDGE 5029 - SPENCERS BROOK ROAD - CLACKLINE

| | |
|--------------------|---------------------------------------|
| Name of Applicant: | Internal Report |
| Name of Owner: | N/A |
| File Ref: | 8.2.9.1 |
| Officer: | Clinton Kleynhans / Geordas Thariyath |
| Officer Interest: | Nil |
| Policy: | F3.2 Purchasing and Tendering |
| Voting: | Absolute Majority |
| Date: | 24 November 2015 |

PURPOSE

For Council to approve the award of RFT 20 of 2015 for the replacement of Bridge 5029 – Spencers Brook Road – Clackline, also confirming preferred funding source option and associated time frames.

BACKGROUND

On the 2nd July 2015 the Shire of Northam received urgent advice from Main Roads requesting the closure of bridge No 5029 over Warranine Brook along Spencers Brook Road (Clackline) as a result of severely corroded substructure steel beam sections.

Subsequently a Waterways Report (*Appendix A*) was completed by Main Roads to explore feasible options for the future of the bridge, followed by a Level 3 Inspection performed by GHD (*Appendix B*), whom were appointed by main roads as independent engineers specialising in bridge construction and maintenance.

The Draft GHD report makes recommendation to have the bridge load rated to assess the capacity of the bridge prior to any remedial works being performed. Following the completion of the Main Roads review of the GHD report the final recommendation was to replace the bride with either a new bridge or culvert, with preference being Option 1 of the Waterways Report, 3 x 1800mm dia. culverts.

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Request for tenders were called on the 31st October in the West Australian closing on 30th November 2015, inviting tenderers to provide a lump sum price to deliver works under contract.

STATUTORY REQUIREMENTS

Section 3.57 of the Local Government Act 1995;

Local Government (Functions & General) Regulations 1996 prescribe the manner in which Tenders are to be assessed.

In addition to the above, Council has an adopted Policy with respect to Regional Price Preference as set out below:

“F 3.4 Regional Price Preference

Policy: *Council’s Regional Price Preference for locally produced goods and services will apply to all goods and services for which tenders are let, unless the Shire of Northam determines otherwise, and is to be:*

Up to 10% with the contract is for goods and services, up to a maximum priced reduction of \$50,000.”

This policy has been applied within the tender assessment process.

CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN

OBJECTIVE: Provide and support an effective and efficient transport network.

STRATEGY: Maintain an efficient, safe and quality road network.

FINANCIAL IMPLICATIONS

As this repair work was unforeseen, there was no provision made in the 2015/16 Annual Budget.

Due to the nature of works being emergency repairs, there is provision to apply through Main Roads for funding assistance provided the Local Government meet the eligibility criteria. Specifically, that evidence needs to be provided demonstrating routine and periodic maintenance of the structure has been performed by the Local Government over the life of the asset.

Staff have extracted historic data from both Synergy and archived material, which has determined a total amount of \$3,693.33 has been spent on maintenance between 2010 and 2015.

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The investigations have also determined these maintenance requirements which have deteriorated to its current state was first identified in a Main Roads routine bridge inspection report back in 2009 (*Appendix C*), with no evidence that these maintenance requirements were actioned by the Shire. In consideration of the lack of evidence the Shire has been unable to provide, funding assistance through this avenue has not been approved.

Seeking an alternative funding source the Shire has applied for a Federal Grant through the Bridge Renewal Programme (Stage 2), with the Ministers approval of proposed projects expected by the end of December, and funding available in January 2016.

It should however be noted that the grant funding is not guaranteed, and in some cases decisions for funding allocation has been deferred by the Federal Government for several months.

Alternatively should all funding opportunities be unsuccessful, funding will be sought from the Road & Bridgeworks Reserve, or consider reducing the current capital works program to re allocate funding to complete these work.

OFFICER'S COMMENT

There were six (6) submissions received for the advertised 22 of 2015 Tender, these being:

1. Avon Concrete.
2. ATM Civil
3. Marine and Civil
4. Australian Civil.
5. GDR Civil Contracting.
6. Ertech Pty Ltd

Submissions were assessed by the following staff:

- | | |
|----------------------|--|
| 1. Geordas Thariyath | Asset Manager |
| 2. Tracey Pearce | Operations Manager |
| 3. Clinton Kleynhans | Executive Manager Engineering Services |

In consideration of the following

Compliance criteria

- Compliance with the conditions in the request;
- Compliance with Specification;
- Financial capacity to perform the works;
- Intent to Sub-Contract;

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- Declare any conflict of interest;
- Quality assurance;
- Occupational Health and Safety requirements;
- Insurance coverage;
- Public Consultation

Qualitative Criteria (Scored)

- | | |
|------------------------------|-----|
| • Pricing | 50% |
| • Relevant Experience | 25% |
| • Timeliness of Delivery | 15% |
| • Safety and Risk Management | 10% |

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2612

Moved: Cr Rumjantsev

Seconded: Cr Davidson

That Council;

- 1. Award Tender 22 of 2015 to Avon Concrete for the Lump Sum amount of \$272,512 (Ex GST);**
- 2. Not commence work until a determination has been made (January 2016) on the Current Federal Government Bridge Renewal Program, as this is the preferred funding source for the project; and**
- 3. In the event the Bridge renewal funding is unsuccessful the funding for the bridge project to be taken from the Shire of Northam road & bridge reserve.**

CARRIED 9/0

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Shire of Northam

EVALUATION REPORT

RFT 20 of 2015 – replacement of Bridge 5029 – Spencers Brook Road Clackline.

Prepared by Sue Connell
1 December 2015

SHIRE OF NORTHAM
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Tender 20 of 2015
Replacement of Bridge 5029



BACKGROUND

Title

The Shire of Northam issued a Request for Tender for 20 of 2015 – Replacement of Bridge 5029 – Spencers Brook Road Clackline.

Scope

This specification covers the Replacement of bridge 5029, Spencers Brook Road Clackline as outlined in Parts 1 to 7 including but not limited to, the supply of materials and labour as directed by the Principal or its nominated representative.

Refer to Tender Document for detailed Scope of Works.

Contract Period

The contract is for a period of up to six (6) weeks.

Tendering Budget

The work to be performed was unforeseen, there was no provision made in the 2015/16 Annual Budget.

RFT Process

Council Approval

Tenderers were invited to provide a Lump Sum that should have a validity period of Ninety (90) Days.

Works and services to be completed under contract(s) will be for:

The replacement of Bridge 5029 Spencers Brook Road Clackline, including but not limited to, the supply of materials and labour as directed by the principal or its nominated representative.

Advertising Details

Request for tenders were advertised on the 31st October 2015 in The West Australian.

RFT Closing Date

The tender closed on 30th November 2015.

Tenders Received

Tender submissions were received from the following organisations.

- (a) Avon Concrete
- (b) GDR Civil Contracting
- (c) Ertech
- (d) Marine and Civil
- (e) Australian Civils
- (f) ATM CIVIL

SHIRE OF NORTHAM
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Tender 20 of 2015
Replacement of Bridge 5029



THE EVALUATION

Participants

An evaluation panel assessed each tender submission. Details on members of the panel are contained within the below table.

| Name | Organisation | Title | Basis of Participation |
|-------------------|------------------|--|------------------------|
| Geordas Thariyath | Shire of Northam | Asset Manager | Lead Assessor |
| Tracey Pearce | Shire of Northam | Operations Manager | Assessor |
| Clinton Kleynhans | Shire of Northam | Executive Manager Engineering Services | Assessor |

Compliance Evaluation

A. Compliance Criteria

The compliance criteria for this RFT were:

- Compliance with the conditions in the request;
- Compliance with Specification;
- Occupational Health and Safety requirements;
- Public Consultation
- Risk Assessment of:
 - Financial capacity to perform the works;
 - Intent to Sub-Contract;
 - Potential conflict of interest;
 - Insurance coverage;
 - Quality assurance;

Compliance Criteria were evaluated on a "Yes/No" basis. All submissions were processed through to the qualitative/price evaluation on the basis that all compliance criteria had been met.

B. Qualitative Assessment

The qualitative criteria for this tender were:

| | |
|--------------------------------|-----|
| (a) Pricing | 50% |
| (b) Relevant Experience | 25% |
| (c) Timeliness of Delivery | 15% |
| (d) Safety and Risk Management | 10% |

The qualitative assessment was completed on 2/12/2015

C. Qualitative Scores & Pricing

For Scoring and pricing refer to the following appendices;

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Tender 20 of 2015
Replacement of Bridge 5029



Appendix A - Evaluation Matrix

D. Short-listing

Avon Concrete.

Referee Reports

The Following Referee was contacted for Avon Concrete.

| Referee Contact | Comments |
|-----------------|----------|
| | |
| | |

RECOMMENDATION FOR AWARD

Giving consideration that all Evaluation Criteria being marginal in difference with exception of Pricing, it is recommended Avon Concrete, is awarded this Tender on the basis of having best value for money offered to the Principal.

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Tender 20 of 2015
Replacement of Bridge 5029



Recommended by Evaluation Panel Assessors

| | | | | |
|------|-------------------|------|-----|---|
| Name | Geordas Thariyath | | | |
| Sign | _____ | Date | / / | / |
| Name | Clinton Kleynhans | | | |
| Sign | _____ | Date | / / | / |

Approved by CEO

| | | | | |
|------|-----------------|------|-----|---|
| Name | Jason Whiteaker | | | |
| Sign | _____ | Date | / / | / |

Endorsed by Council

| | | |
|------|-----|---|
| Date | / / | / |
|------|-----|---|

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APPENDIX A



Waterways Report Number 944

Bridge No. 5029
Over Warranine Brook
On Spencers Brook Road

Structure Replacement Options

Wheatbelt Region



RN 944 prepared by:
R. Vegvary, E. Cheung, A. Tierney, M. Chong & M. Nguyen

Issued: July 2015

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DOCUMENT CONTROL

| Revision | Date | Prepared | Reviewed | Approved |
|----------|------------|----------------|----------|----------|
| 0 | 10/07/2015 | RV/EC/AT/MC/MN | MN | MN |
| | | | | |
| | | | | |

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Bridge No. 5029

Waterways Section
RN 944

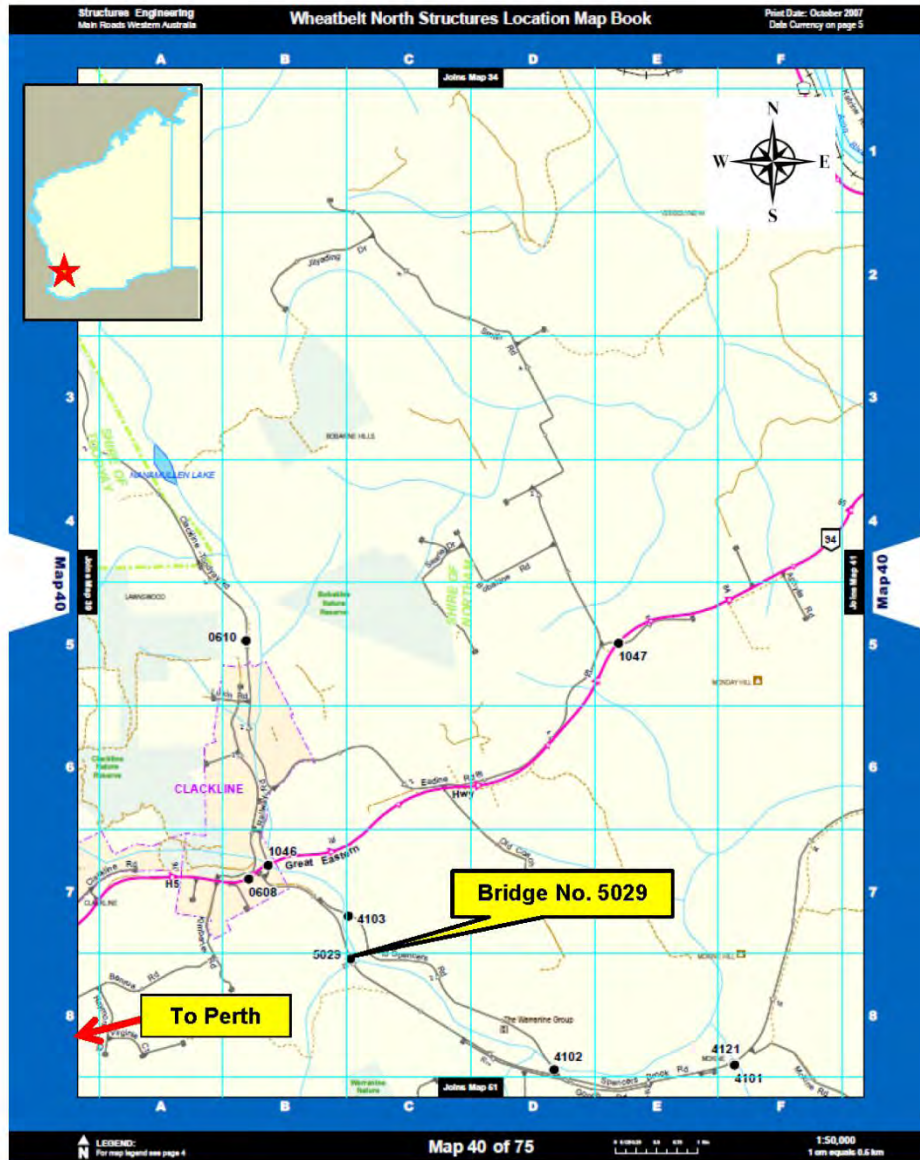


Figure 1: Locality Plan

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Bridge No. 5029

Waterways Section
RN 944

1. INTRODUCTION

Bridge No. 5029 is located on Spencers Brook Road, crossing Warranine Brook in the Wheatbelt region (Figure 1). This bridge is a single span, steel I-Beam and concrete slab structure. The structural properties of Bridge No. 5029 is presented in Table 1.

Table 1: Structural properties of Bridge No. 5029

| Type | Number of Spans | Span Dimensions (m) | Clear Span Length (m) | Maximum Head Room (m) |
|-----------------------------|-----------------|---------------------|-----------------------|-----------------------|
| Steel I-Beam, concrete slab | 1 | 6.1 | 4.0 | 2.26 |

The memorandum attached to the detailed structures (Level 2) inspection report for this bridge (TRIM Record Number D15#364406), noted that *"the condition of certain structural components has deteriorated to such an extent that the load carrying capacity is less than full capacity"* and recommended urgent detailed structural assessment of the bridge, in particular *"Load rating of steel beams"* (Ken Wong, 26/6/2015).

As a result of the potential bridge collapse, the Shire of Northam closed the bridge on 2 July 2015 and provided an alternate traffic route via Old Spencers Rd.

The Wheatbelt region has requested Waterways Section to assess the waterways capacity of the existing bridge and propose options to replace the deteriorating bridge.

The purpose of this report is to document the hydraulic performance of Bridge No. 5029 and propose replacement options for the structure.

2. HYDROLOGY

2.1 Catchment Characteristics

The catchment of Warranine Brook at Bridge No. 5029 was demarcated using 30 m DEM and the software ArcGIS (Appendix A). The characteristics of this catchment is summarised in Table 2.

Table 2: Catchment characteristics of Warranine Brook at Bridge No. 5029

| Warranine Brook Catchment Characteristics | | | | |
|---|-------------|--------------|----------------------|------------|
| Area (km ²) | Length (km) | Slope (m/km) | Annual Rainfall (mm) | % Clearing |
| 176 | 33 | 4.7 | 595 | 65 |

This catchment consists of rural farmland and there are numerous dams within. The runoff routing model in Section 2.4 includes a rough estimate of volume retention of these dams.

An additional catchment for Stream Gauging Station 615028 (Spencers Brook Mouth) was analysed as part of the peak flow estimation process (Section 2.3). The characteristic of this catchment is summarised in Table 3.

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Bridge No. 5029

Waterways Section
RN 944

Table 3: Catchment characteristics of Stream Gauging Station 615028

| Stream Gauging Station 615028 Catchment Characteristics | | | | |
|---|-------------|--------------|----------------------|------------|
| Area (km ²) | Length (km) | Slope (m/km) | Annual Rainfall (mm) | % Clearing |
| 366 | 49 | 4.2 | 595 | 65 |

2.2 Rainfall Analysis – Intensity Frequency Duration (IFD)

The design rainfall intensity frequency duration (IFD) values and chart were computed using the method described in AR&R87 for Bridge 5029 at the centroid of Warranine Brook catchment (Appendix B).

The recorded rainfall information used for this analysis was collected from Rainfall Gauge Station 10166 (Southbourne), located approximately 12 km from the centroid of Warranine Brook catchment.

2.3 Rational and Flood Index Methods - Australian Rainfall and Runoff 1987 (AR&R87)

The Wheatbelt region rational and index flood methods as recommended by Australian Rainfall and Runoff 1987 (AR&R87) were used to estimate the design peak flows at Bridge No. 5029. The soil and clearing characteristics of these catchments resembled the loamy and lateritic catchment description. The 100 year ARI peak flows were determined via log extrapolation.

The estimated peak flows for Bridge No. 5029 are summarised in Table 3. Detailed calculations are included in Appendix B.

Table 3: Estimated peak flows at Bridge No. 5029

| Method | Design ARI (Years) / Estimated Peak Flow (m ³ /s) | | | | | |
|-----------------|--|----|----|----|----|-----|
| | 2 | 5 | 10 | 20 | 50 | 100 |
| Rational | 8 | 15 | 25 | 42 | 70 | 90 |
| Index | 8 | 16 | 28 | 49 | 90 | 96 |

The estimated peak flows at Stream Gauging Station 615028 are summarised in Table 4. Detailed calculations are included in Appendix B.

Table 4: Estimated peak flows at Stream Gauging Station 615028

| Method | Design ARI (Years) / Estimated Peak Flow (m ³ /s) | | | | | |
|-----------------|--|----|----|----|-----|-----|
| | 2 | 5 | 10 | 20 | 50 | 100 |
| Rational | 12 | 23 | 38 | 65 | 106 | 137 |
| Index | 12 | 25 | 44 | 75 | 140 | 149 |

2.4 Runoff Routing Method using RORB

A runoff routing model using the software RORB was also created as an attempt to verify the peak flows estimated by the AR&R87 Wheatbelt Region Rational and Flood Index methods.

The Warranine Brook was divided into thirteen sub-catchments (labelled A to M) as shown in Appendix C. The runoff routing parameters used were as recommended by AR&R87 and are summarised in Table 5.

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Table 5: Runoff routing parameters

| Losses | Design ARI (Years) | | | | | |
|------------|--------------------|------|------|------|------|------|
| | 2 | 5 | 10 | 20 | 50 | 100 |
| IL (mm) | 20.5 | 26.3 | 28.6 | 25.0 | 26.3 | 26.3 |
| CL (mm/hr) | 3 | 3 | 3 | 3 | 3 | 3 |

The loss values recommended as a guide by AR&R87 tend to overestimate the peak flows in the Wheatbelt region. However due to the lack of supporting recorded information the conservative approach was adopted.

As discussed the number of dams within each of the sub-catchments were estimated from the satellite imagery and incorporated into the ROORB model as retention storage. Various rainfall intensities from the design IFD calculation have been assumed as the depth of rainfall captured by the ineffective catchment area due to the dams. Detail of the dam calculation is included in Appendix C.

The Department of Water relationship between volume and surface area equation for the south-west of WA was not used due to site incompatibility.

The result from the runoff routing model is presented in Table 6.

Table 6: Runoff routing estimated peak flows

| ROORB Peak Flow | Design ARI (Years) / Estimated Peak Flow (m ³ /s) | | | | | |
|--------------------|--|----|----|-----|-----|-----|
| | 2 | 5 | 10 | 20 | 50 | 100 |
| No dam | 20 | 28 | 44 | 126 | 127 | 193 |
| With dams | 6 | 12 | 20 | 27 | 35 | 42 |

2.5 Flood Frequency Analysis (FFA)

A streamflow gauged station (615028) was identified in close proximity to Warranine Brook. Unfortunately this station only contained 4 years' worth of reliable flow data (6 years in total with 2 years incomplete). This is not a large enough population dataset to confidently determine an answer from flood frequency analysis (FFA).

Nevertheless a FFA was completed in order to utilise all available information. The results of the FFA using the software HEC-SSP 2.0 is summarised in Table 7 and Figure 2.

Table 7: Flood frequency analysis Stream Gauging Station 615028

| Confidence Interval | Design ARI (Years) / Estimated Peak Flow (m ³ /s) | | | | | |
|------------------------|--|----|-----|-----|-----|-----|
| | 2 | 5 | 10 | 20 | 50 | 100 |
| 5% | 25 | 76 | 124 | 176 | 245 | 294 |
| LP III | 11 | 17 | 21 | 24 | 26 | 28 |
| 95% | 6 | 10 | 12 | 13 | 14 | 15 |

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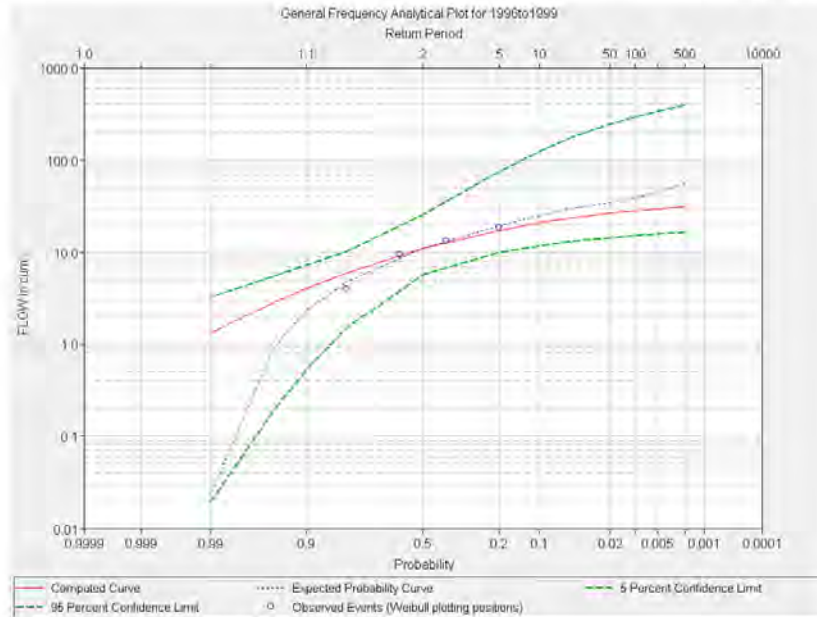


Figure 2: FFA at Stream Gauging Station 615028

The results from Station 615028 were based on a catchment area of 366 km². Areal scaling was required to be applied to this result in order to relate the peak flows to Warranine Brook at Bridge No. 5029. The scaling results are presented in Table 8.

Table 8: Flood frequency analysis Station 615028 scaled to Bridge 5029

| Confidence Interval | Design ARI (Years) / Estimated Peak Flow (m ³ /s) | | | | | |
|---------------------|--|----|----|-----|-----|-----|
| | 2 | 5 | 10 | 20 | 50 | 100 |
| 5% | 15 | 45 | 74 | 106 | 147 | 176 |
| LP III | 7 | 10 | 12 | 14 | 16 | 17 |
| 95% | 3 | 6 | 7 | 8 | 9 | 9 |

The FFA results show that due to only 4 years' worth of recorded data the confidence band is unrealistically wide. Therefore this result cannot be used.

2.6 Adopted Design Flow

The adopted design flows were determined based on the results of the described peak estimate methods. These flows are summarised in Table 9.

Table 9: Adopted design flows

| Adopted Design Flow | Design ARI (Years) / Estimated Peak Flow (m ³ /s) | | | | | |
|---------------------|--|----|----|----|----|-----|
| | 2 | 5 | 10 | 20 | 50 | 100 |
| | 6 | 12 | 20 | 27 | 35 | 42 |

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The adopted design flows were determined based on the following considerations:

- The adopted design flows were based on the runoff routing model results with the inclusion of dam retention storage.
- There are numerous farm dams within the Warranine Brook catchment that would retain volumes of precipitation and significantly reduce the calculated peak flows.
- Even though the recommended loss parameters for runoff routing are generic and typically reflect less permeable soils, they were adopted due to lack of contrary information.
- In general the rational and flood index methods as recommended by AR&R87 overestimate peak flows in the Wheatbelt region. The overestimation has been observed to be in the order of 30% to 60% depending on the properties of the catchments.
- The sample size of Station 615028 used for FFA was very small, therefore was not reliable and was not used for validation.

3. HYDRAULICS

3.1 Site Visit, Survey and Anecdotal Information

A site visit was conducted by MRWA Graduate Engineers (GE), Anne Tierney and Matt Chong, and Opus International Consultants Engineer, Andre D'Sanges on 8 July 2015.

During this site visit the following information were collected:

- Survey of cross section and long section of Warranine Brook at judiciously selected locations.
- Survey of the Spencers Brook Road over Warranine Brook.
- Photographs and site notes describing the waterway characteristics of Warranine Brook and surrounding area.

All site visit information is included in Appendix D.

No anecdotal information was gathered during this site visit.

There have been no historical records or recollection of water overtopping Spencers Brook Road at this bridge location.

3.1.1 Important Site Observation

- Bridge No. 5029 spans over the non-perennial Warranine Brook. During the 8 July 2015 site visit slow flowing water was observed in the brook at a depth of approximate 0.40 m at the bridge. This water was the result of heavy rainfall event on 7 July 2015 and some antecedent rainfall the days prior. This rainfall was assessed to be less than a 2 year ARI event (close to an annual flow). Based on the debris markings it was likely that the water peaked at approximately 0.50 m from the brook bed at the Bridge No. 5029. This validates the hydraulic results the following sections.
- There is a small timber footbridge with concrete pilings approximately 15 m upstream of Bridge No. 5029. Hydraulic results show that this bridge has no impact on the performance of Bridge No. 5029.
- Warranine Brook has a defined channel approximately 2.0 m deep and 12.0 m wide. This has been calculated to convey the between the 5 and

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10 year ARI flow before the water spreads on a floodplain approximately 70 m on both sides of the channel and becomes a wide sheet flow.

3.2 Design Serviceability Criteria

Spencers Brook Road is classified as a rural minor road and therefore based on Austroads standards require a recommended minimum serviceability level of 10 to 20 year ARI. The extract of the Austroads serviceability requirement guide is summarised in Table 10.

Table 10: Austroads serviceability requirement guide

| Road Type | Minimum Serviceability Requirement |
|-----------------------------|------------------------------------|
| Freeways and arterial roads | 50 to 100 year ARI |
| Minor urban roads | 20 to 50 year ARI |
| Rural main roads | 20 to 50 year ARI |
| Rural minor roads | 10 to 20 year ARI |
| Rural local access roads | 5 to 10 year ARI |

Based on the results of Section 3.4 the existing bridge is dry serviceable for the 20 year ARI event. Therefore a minimum dry 20 year ARI serviceability level will be adopted for design of the proposed options.

3.3 Hydraulic Software

The following hydraulic software were used to assess the performance of the existing bridge and proposed replacement options:

1. AFFLUX
2. HEC-RAS

The results from these assessments are included in Appendix E and Appendix F.

Note that the bridge is on a superelevation and therefore the critical road level for serviceability was taken to be 200 mm over the upstream road level.

3.4 Performance of Existing Structure – Bridge No. 5029

The performance of the existing bridge is summarised in Table 11.

Table 11: Performance of Bridge No. 5029

| U/S Road Level | | 3.08 m RL | | | | |
|----------------|-------------------------------|--------------|-------------|----------------|------------------------|----------------------------|
| ARI | Peak Flow (m ³ /s) | Stage (m RL) | USWL (m RL) | Backwater (mm) | Maximum velocity (m/s) | Serviceability (Wet / Dry) |
| 2 | 6 | 1.07 | 1.36 | 0.29 | 2.44 | Dry |
| 5 | 12 | 1.45 | 1.89 | 0.44 | 3.09 | Dry |
| 10 | 20 | 1.81 | 2.52 | 0.71 | 3.66 | Dry |
| 20 | 27 | 2.00 | 3.00 | 1.00 | 4.05 | Dry |
| 50 | 35 | 2.28 | 3.33 | 1.05 | 1.89 | Unserviceable |
| 100 | 42 | 2.45 | 3.37 | 0.92 | 1.99 | Unserviceable |

An additional HEC-RAS model was created to assess the performance of the existing bridge without the upstream footbridge. The results are summarised in Table 12.

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Table 12: Performance of Bridge No. 5029 without upstream footbridge

| U/S Road Level | | 3.08 m RL | | | | |
|----------------|-------------------------------|--------------|-------------|----------------|------------------------|----------------------------|
| ARI | Peak Flow (m ³ /s) | Stage (m RL) | USWL (m RL) | Backwater (mm) | Maximum velocity (m/s) | Serviceability (Wet / Dry) |
| 2 | 6 | 1.07 | 1.36 | 0.29 | 2.44 | Dry |
| 5 | 12 | 1.45 | 1.89 | 0.44 | 3.09 | Dry |
| 10 | 20 | 1.81 | 2.52 | 0.71 | 3.66 | Dry |
| 20 | 27 | 2.00 | 3.00 | 1.00 | 4.05 | Dry |
| 50 | 35 | 2.28 | 3.33 | 1.05 | 1.89 | Unserviceable |
| 100 | 42 | 2.45 | 3.37 | 0.92 | 1.99 | Unserviceable |

The results from Table 11 and Table 12 showed that the upstream footbridge has no impact on the performance of Bridge No. 5029. The proposed options have been designed with the inclusion of the footbridge under the assumption it will not be demolished.

3.5 Proposed Replacement Options

A total of five different options were investigated in this assessment. All options are summarised in Table 13.

Table 13: Summary of proposed replacement options

| Option | Structure Type | Structure Dimension | Floodway Length (m) | Serviceability (Year ARI) |
|--------|----------------|--------------------------|---------------------|---------------------------|
| 1 | Culvert | 3 x Ø1800mm RCP | None | 20 Dry / 100 Wet |
| 2 | Culvert | 3 x Ø2100mm RCP | None | 50 Dry / 100 Wet |
| 3 | Culvert | 2 x 2100mm x 1800mm RCBC | None | 20 Dry / 100 Wet |
| 4 | Culvert | 3 x 2100mm x 1800mm RCBC | None | 50 Dry / 100 Wet |
| 5 | Bridge | 6.0 m Precast Bridge | None | 50 Dry / 100 Wet |

Each option were selected and designed based on the following consideration:

- No road horizontal and vertical realignment
- Minimal impact to existing flow regime and water levels

The hydraulic results of these options are presented in the following sections.

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3.5.1 Option 1 – 3 x Ø1800mm RCP

Option 1 is to replace Bridge No. 5029 with 3 x Ø1800mm RCP. The HEC-RAS result for this option is presented in Table 14.

Table 14: Option 1 - 3 x Ø1800mm RCP

| U/S Road Level | | 3.08 m RL | | | | |
|----------------|-------------------------------|--------------|-------------|----------------|------------------------|----------------------------|
| ARI | Peak Flow (m ³ /s) | Stage (m RL) | USWL (m RL) | Backwater (mm) | Maximum velocity (m/s) | Serviceability (Wet / Dry) |
| 2 | 6 | 1.07 | 1.07 | 0.00 | 1.68 | Dry |
| 5 | 12 | 1.45 | 1.66 | 0.21 | 2.12 | Dry |
| 10 | 20 | 1.81 | 2.43 | 0.62 | 2.66 | Dry |
| 20 | 27 | 2.00 | 3.02 | 1.02 | 3.22 | Dry |
| 50 | 35 | 2.28 | 3.17 | 0.89 | 3.06 | Wet |
| 100 | 42 | 2.45 | 3.25 | 0.80 | 2.94 | Wet |

This option is dry serviceable for 20 year ARI and wet serviceable for 100 year ARI.

Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is ¼ tonne. However, when considered with site observations it is recommended that no rock protection is required for this option.

3.5.2 Option 2 – 3 x Ø2100mm RCP

Option 2 is to replace Bridge No. 5029 with 3 x Ø2100mm RCP. The HEC-RAS result for this option is presented in Table 15.

Table 15: Option 2 - 3 x Ø2100mm RCP

| U/S Road Level | | 3.08 m RL | | | | |
|----------------|-------------------------------|--------------|-------------|----------------|------------------------|----------------------------|
| ARI | Peak Flow (m ³ /s) | Stage (m RL) | USWL (m RL) | Backwater (mm) | Maximum velocity (m/s) | Serviceability (Wet / Dry) |
| 2 | 6 | 1.07 | 1.07 | 0.00 | 1.47 | Dry |
| 5 | 12 | 1.45 | 1.52 | 0.07 | 1.84 | Dry |
| 10 | 20 | 1.81 | 2.13 | 0.32 | 2.26 | Dry |
| 20 | 27 | 2.00 | 2.71 | 0.71 | 2.67 | Dry |
| 50 | 35 | 2.28 | 3.07 | 0.79 | 2.89 | Dry |
| 100 | 42 | 2.45 | 3.18 | 0.73 | 2.81 | Wet |

This option is dry serviceable for 50 year ARI and wet serviceable for 100 year ARI.

Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is light class. However, when considered with site observations it is recommended that no rock protection is required for this option.

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3.5.3 Option 3 – 2 x 2100mm x 1800mm RCBC

Option 3 is to replace Bridge No. 5029 with 2 x 2100mm x 1800mm RCBC. The HEC-RAS result for this option is presented in Table 16.

Table 16: Option 3 - 2 x 2100mm x 1800mm RCBC

| U/S Road Level | | 3.08 m RL | | | | |
|----------------|-------------------------------|--------------|-------------|----------------|------------------------|----------------------------|
| ARI | Peak Flow (m ³ /s) | Stage (m RL) | USWL (m RL) | Backwater (mm) | Maximum velocity (m/s) | Serviceability (Wet / Dry) |
| 2 | 6 | 1.07 | 1.09 | 0.02 | 1.64 | Dry |
| 5 | 12 | 1.45 | 1.73 | 0.28 | 2.32 | Dry |
| 10 | 20 | 1.81 | 2.47 | 0.66 | 2.82 | Dry |
| 20 | 27 | 2.00 | 3.02 | 1.02 | 3.24 | Dry |
| 50 | 35 | 2.28 | 3.17 | 0.89 | 3.07 | Wet |
| 100 | 42 | 2.45 | 3.25 | 0.80 | 2.94 | Wet |

This option is dry serviceable for 20 year ARI and wet serviceable for 100 year ARI.

Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is ¼ tonne. However, when considered with site observations it is recommended that no rock protection is required for this option.

3.5.4 Option 4 – 3 x 2100mm x 1800mm RCBC

Option 4 is to replace Bridge No. 5029 with 3 x 2100mm x 1800mm RCBC. The HEC-RAS result for this option is presented in Table 17.

Table 17: Option 4 - 3 x 2100mm x 1800mm RCBC

| U/S Road Level | | 3.08 m RL | | | | |
|----------------|-------------------------------|--------------|-------------|----------------|------------------------|----------------------------|
| ARI | Peak Flow (m ³ /s) | Stage (m RL) | USWL (m RL) | Backwater (mm) | Maximum velocity (m/s) | Serviceability (Wet / Dry) |
| 2 | 6 | 1.07 | 1.07 | 0.00 | 1.05 | Dry |
| 5 | 12 | 1.45 | 1.45 | 0.00 | 1.48 | Dry |
| 10 | 20 | 1.81 | 1.98 | 0.17 | 1.86 | Dry |
| 20 | 27 | 2.00 | 2.60 | 0.60 | 2.38 | Dry |
| 50 | 35 | 2.28 | 3.03 | 0.75 | 2.80 | Dry |
| 100 | 42 | 2.45 | 3.15 | 0.70 | 2.75 | Wet |

This option is dry serviceable for 50 year ARI and wet serviceable for 100 year ARI.

Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is light class. However, when considered with site observations it is recommended that no rock protection is required for this option.

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3.5.5 Option 5 – 6.0 m Precast Bridge

Option 5 is to replace Bridge No. 5029 with a 6.0 m Precast Bridge. The HEC-RAS result for this option is presented in Table 18.

Table 18: Option 5 – 6.0 m Precast Bridge

| U/S Road Level | | 3.08 m RL | | | | |
|----------------|-------------------------------|--------------|-------------|----------------|------------------------|----------------------------|
| ARI | Peak Flow (m ³ /s) | Stage (m RL) | USWL (m RL) | Backwater (mm) | Maximum velocity (m/s) | Serviceability (Wet / Dry) |
| 2 | 6 | 1.07 | 1.30 | 0.23 | 2.25 | Dry |
| 5 | 12 | 1.45 | 1.69 | 0.24 | 2.52 | Dry |
| 10 | 20 | 1.81 | 2.14 | 0.33 | 3.06 | Dry |
| 20 | 27 | 2.00 | 2.56 | 0.56 | 3.56 | Dry |
| 50 | 35 | 2.28 | 2.96 | 0.68 | 3.89 | Dry |
| 100 | 42 | 2.45 | 3.27 | 0.82 | 4.14 | Wet |

This option is dry serviceable for 50 year ARI and wet serviceable for 100 year ARI.

Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is ¼ tonne. However, when considered with site observations it is recommended that no rock protection is required for this option.

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4. CONCLUSION AND RECOMMENDATION

The results of this waterways investigation is summarised in Table 19.

Table 19: Performance summary of existing and proposed options

| Performance Summary of Existing and Proposed Options | | | | | |
|---|-----------------------|----------------------------|----------------------------|--------------------------------|----------------------------------|
| Road Name / Type: | | Spencers Brook Road | | Rural minor road | |
| Minimum / Design Serviceability: | | 10 to 20 year ARI | | 20 year (dry) | |
| Option | Structure Type | Structure Dimension | Floodway Length (m) | Rock Protection (Class) | Serviceability (Year ARI) |
| Existing | Bridge | 4.0 m clear span | None | None | 20 Dry |
| 1 | Culvert | 3 x Ø1800mm RCP | None | None | 20 Dry / 100 Wet |
| 2 | Culvert | 3 x Ø2100mm RCP | None | None | 50 Dry / 100 Wet |
| 3 | Culvert | 2 x 2100mm x 1800mm RCBC | None | None | 20 Dry / 100 Wet |
| 4 | Culvert | 3 x 2100mm x 1800mm RCBC | None | None | 50 Dry / 100 Wet |
| 5 | Bridge | 6.0 m clear span | None | None | 50 Dry / 100 Wet |

Based on the assessment presented in this report the recommended replacement option for Bridge No. 5029 is:

- Option 1: 3 x Ø1800mm RCP
- No rock protection is required for this option.

It should be noted that based on site observations flood waters for extreme events greater than the 50 year ARI will likely overtop the Spencers Brook Road on the south eastern side of the bridge (approximately 70 m from the bridge) before the bridge gets overtopped.

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APPENDIX B



DRAFT.



Main Roads WA

Bridge No. 5029
Level 3 Inspection of Beams

July 2015

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Appendices

Appendix A - Photographs

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1. Introduction

1.1 Background

Bridge No. 5029 is a steel bridge located on Spencers Brook Road at SLK 22.08 over Warranine Brook in the Shire of Northam (refer locality plan below). The bridge is owned and controlled by the local authority.

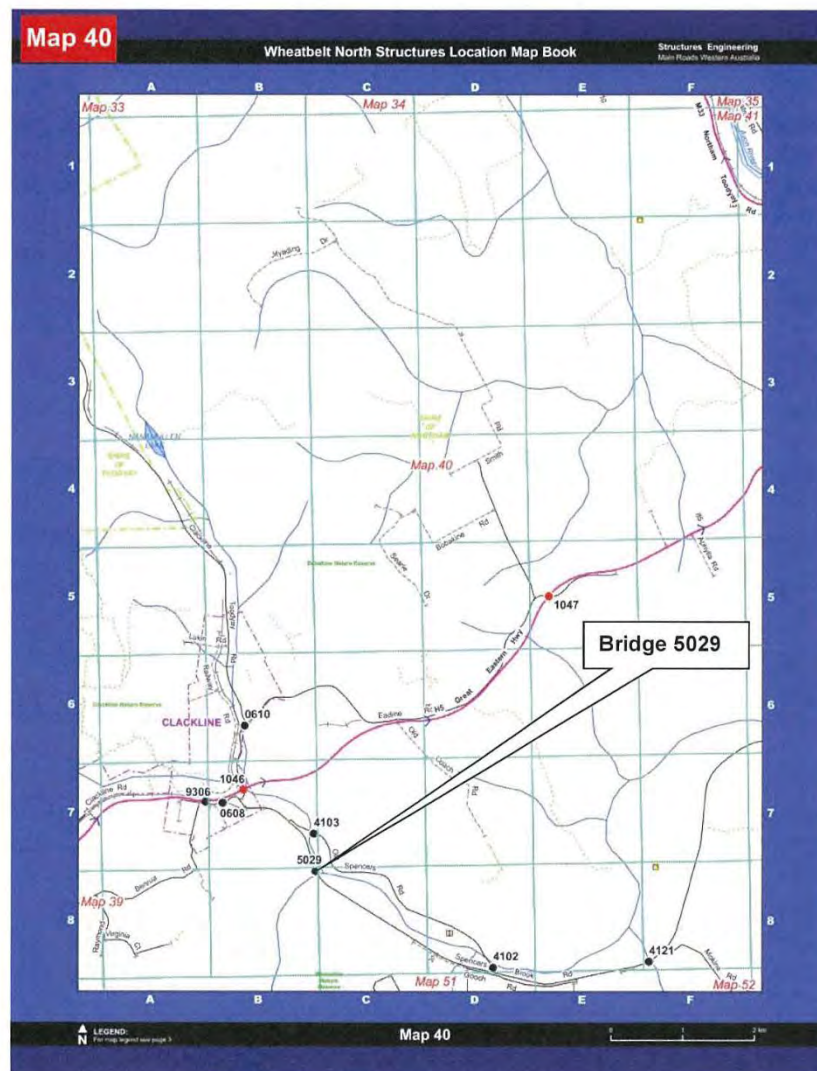


Figure 1 - Locality Plan

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MRWA has advised GHD that there are no available drawings for this bridge.

1.2 Purpose of Report

The intent of this report is to quantify the condition of Beam 9 and the other beams supporting the deck, and to highlight other areas of corrosion that may affect the bridge's performance.

2. Scope of Work

2.1 General

Broadly, the scope of work for this commission was to:

1. Undertake a site inspection of the Bridge's major components, particularly the steel beams which reportedly had significant corrosion.
2. Measure the extent of the remaining steel of the beams
3. Submission of a written report presenting current condition, measurements taken and potential remedial recommendations.

All these tasks were performed in general accordance with MRWA Document No. 6706-02-2241 titled "Detailed Non-Destructive Bridge Inspection Guidelines, Concrete and Steel Bridges, (Level 3 Inspections)".

The site investigation was performed on the 15th July 2015. The weather was generally overcast and cool throughout the investigation, and the water beneath the bridge was approximately 100 mm deep.

The following sections outline the techniques used to evaluate the in situ condition of Bridge No. 5029.

2.2 Visual Inspections

A visual inspection of the accessible components of the bridge was undertaken from safe vantage points on the ground, from the road surface and from a ladder. The inspection primarily sought to identify visible defects to the beams, although significant defects to miscellaneous components were also inspected. In addition, the visual inspection also identified the particular beams that were considered representative of all beams and to be subjected to a more detailed investigation to assess their condition.

The type and extent of visible defects were recorded onto site notes. Photographs of typical and/or significant defects were taken.

2.3 Site Measurements

Measurements of significant details of the bridge were made in order to quantify the extent of steel lost to corrosion, and to gather input for a load rating of the bridge. Measurement was performed using tapes, vernier gauges (after localised removal of most rust using a hammer and wire brush) and an ultrasonic thickness gauge (after localised removal of almost all rust using a grinder).

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3. Summary of Investigation Results

3.1 Geometry

A plan sketch of the bridge is shown in Figure 2 below.

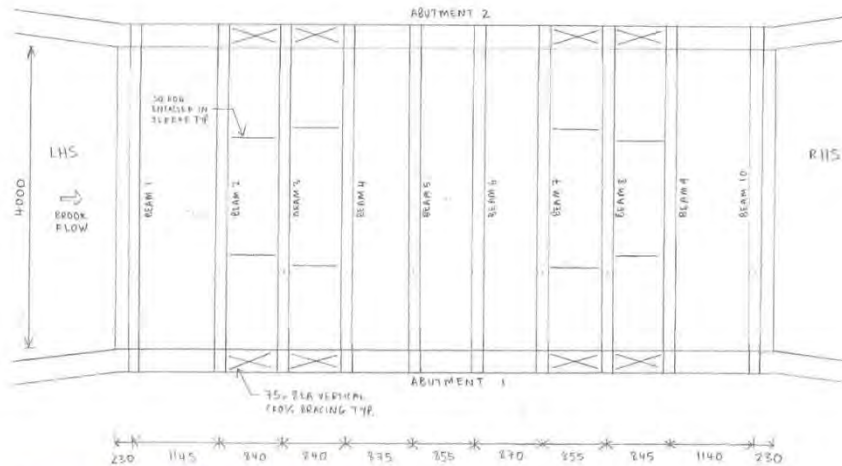


Figure 2 - Plan of Bridge No. 5029

Measurements and observations from site indicate that:

1. The bridge occurs on a right hand curve and is superelevated. The level of the road falls from the left hand side to the right hand side.
2. The road above has a bituminous seal, a width between the kerbs of 8.2 m and a 250 mm wide kerb at each side.
3. The bridge has a single span of 4.4 m between centrelines of the concrete abutments and a clear span of 4 m.
4. The deck is supported by 10 steel tapered flanged beams. 52 rail sections span transversely across the beams, cantilevering beyond the outer-most beams' flange by around 150 mm at each end. A concrete slab (that appears to be a minimum 350 mm thick) has been cast on and above the rails; and continues upwards to form the outer edges of the kerbs. Beam 9 has experienced significant corrosion to its web at both ends of the beam.
5. There is a w-beam guardrail erected along both sides of the carriageway above the bridge. The steel channel posts of the guardrails are connected to the top of the kerbs. The guardrail does not meet current MRWA standards.

Anecdotal information from a farmer living nearby is that the bridge was constructed in the 1930s, originally as a rail bridge.

In more recent times, a pedestrian bridge was installed on the left hand side of the bridge as part of a tourist walk in the area. Warranine Brook flows under the pedestrian bridge prior to flowing under Bridge No. 5029. A concrete abutment and pier that support the pedestrian

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bridge directed the brook's flow to the rear of Abutment 1 of Bridge No. 5029 and caused scouring to the soil behind Abutment 1.

3.2 Beams

3.2.1 General

The 10 beams were similar to one another however they varied slightly in depth, width and thickness of web and flange. Due to the age of the bridge, the exact beam type that was used cannot be confirmed however the standard beam closest in properties to the beams appears to be a 14 x 5¹/₂ x 40 taper flange beam.

The properties of a 14 x 5¹/₂ x 40 taper flange beam are shown below.

| Depth D (mm) | Width B (mm) | Weight (kg/m) | Flange Thickness T (mm) | Web Thickness t (mm) | Depth Between Fillets d (mm) |
|--------------|--------------|---------------|-------------------------|----------------------|------------------------------|
| 356 | 140 | 59.5 | 15.9 | 9.4 | 289 |

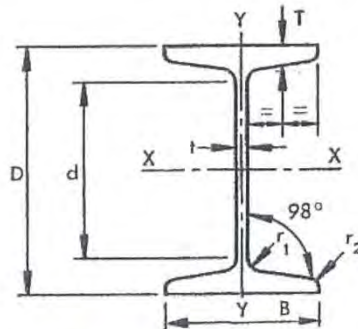


Figure 3 - Taper Flange

There is 75 x 8 EA cross bracing at both of the abutments between Beams 2 and 3, Beams 3 and 4, Beams 7 and 8, and Beams 8 and 9. Between these same beams there is 30 mm diameter rods encased within hollow sleeves. The rods are located at approximately 1.1 m from each abutment.

3.2.2 Visual Condition

All of the beams have experienced significant and widespread surface corrosion due to the age and location of the bridge. Widespread pitting was also evident.

Beam 9 has suffered significant corrosion to its web at locations adjacent to the abutments. The corrosion has created perforations in the web at both ends. The location of the corrosion is especially problematic because the shear load in the beam is at its highest above the abutment. The corrosion has therefore rendered Beam 9 ineffective because it cannot transfer vertical load to the abutment. The length of ineffective web is of Beam 9 is 1900 mm from the face of Abutment 1 and 700 mm from the face of Abutment 2. This causes a redistribution of load to the neighbouring Beams 8 and 10, which may mean that these beams are loaded higher than originally intended.

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Beam 5 has experienced slightly higher corrosion than the other beams, excluding Beam 9. The corrosion is most significant adjacent to Abutment 2 where there is approximately 700 mm length of web (measured from the face of Abutment 2) that can be considered ineffective due to small perforations and significant loss of web thickness.

3.2.3 Measurements

The dimensions and thickness for each beam measured on site are detailed in Table 1. The flange thickness measurements were taken from the mid-point (approximately) of the flange outstand.

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Table 1 – Measured Beam Dimensions

| Beam No. | Depth (mm) | Bottom Flange Width (mm) | Bottom Flange Thickness at Midspan (mm) | Web Thickness Adjacent Abutment 1 (mm) | Web Thickness at Midspan (mm) | Web Thickness Adjacent Abutment 2 (mm) |
|----------|------------|--------------------------|---|--|-------------------------------|--|
| 1 | 360 | 155 | 18.2 | 10.6 mid-height 9.5 bottom | 6.3 mid-height 6.0 bottom | 4.5 mid-height NA |
| 2 | 358 | 155 | 20.4 | NA | NA | NA |
| 3 | 352 | 156 | 20.9 | NA | 4.8 mid-height 4.4 bottom | 5.6 NA |
| 4 | 357 | 155 | 20.4 | NA | 4.6 mid-height 4.1 bottom | NA NA |
| 5 | 355 | 145 | 12.4 | NA | 6.3 mid-height 3.5 bottom | 5.1 mid-height 0 bottom, isolated |
| 6 | 357 | 155 | 20.6 | NA | NA | NA |
| 7 | 360 | 155 | 18.9 | NA | NA | NA |
| 8 | 357 | 145 | 18.4 | NA | NA | 5.0 mid-height |
| 9 | 360 | 140 | 12.2 | 0 mid-height 0 bottom | 6.0 mid-height 5.4 bottom | 0 mid-height 0 bottom |
| 10 | 355 | 155 | 20.4 | NA | 4.2 mid-height NA | 4.6 mid-height 5.2 bottom |

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3.3 Transverse Beams

There was significant and widespread corrosion to the underside of all 52 rail sections. Measurements indicated the rust laminations were approximately:

1. 10 mm between Beams 1 and 2
2. 10 mm between Beams 9 and 10
3. 6 mm rust lamination between Beams 6 and 7.

On the basis that rust occupies around 7 to 8 times more volume than the parent metal it is from, the underside of the rails have typically lost approximately 1.5 mm of original steel.

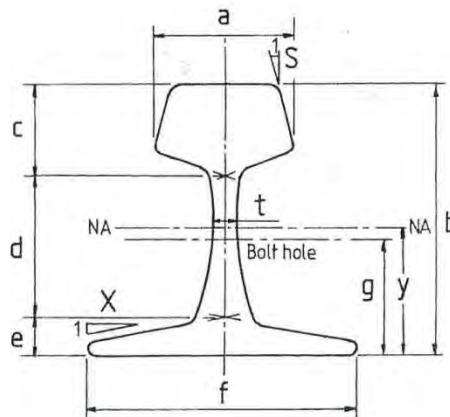


Figure 4 - Rail

The rail dimensions measured from site (in millimetres) are shown below

| a | b | c | e | f | t |
|----|----|----|---|----|----|
| 50 | 95 | 30 | 7 | 85 | 10 |

3.4 Concrete Deck

The concrete deck appears to consist of two separate layers. The bottom layer of concrete seems to have been poured when the rails were installed so that the rails are embedded into the bottom layer. The thickness of the bottom layer (excluding the rail depth) varies from approximately 280 mm at the left hand side to approximately 250 mm at the right hand side. Above this is a second layer of concrete that is probably just a kerb. The kerb height above the bottom layer of concrete varies from approximately 570 mm on the left hand side to approximately 330 mm on the right hand side. The kerb is 220 mm wide on both sides of the bridge. Between the kerbs is the road fill.

It was noticed from both sides of the bridge that the deck has relatively wide (approx. 20 mm) vertical cracks located at the midspan of the bridge. No steel reinforcement was able to be

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found when investigating the cracks, suggesting (but not confirming) that the deck is unreinforced and that the deck may be relying upon the rails to act as support.

3.5 Concrete Abutments & Wing Walls

Each abutment consisted of concrete main walls and concrete wing walls on both sides of the main wall. The main walls have some medium etching, while the wing walls have experienced significant cracking and deep etching. As indicated earlier, the soil behind the Abutment 1 left hand side wing wall has scoured.

4. Discussion

4.1 Beams

Beams 5 and 9 require remedial action due to the obvious and significant amount of corrosion loss to their webs. Remedial options include beam replacement (requiring propping of the deck); augment the existing beam with placement of additional, adjacent beams (requiring difficult access); and beam repair, say welding of new plates to the existing beams (requiring a considerable amount of on-site welding, and the remaining thickness in a lot of areas may be inadequate to properly weld). If these two beams were considered in isolation, it would most likely be most cost effective to replace the two beams.

The other beams may also have experienced a significant loss of steel thickness since the bridge was constructed.

4.2 Transverse Beams

Only the condition of the underside and ends of the transverse rail beams was able to be addressed on site. The undersides of the rails are badly corroded and may have experienced significant section loss. The capacity of the rails is questionable and should be investigated further. It is likely that the rails will continue to corrode further because of the wide vertical cracks in the concrete deck which will continue to allow water to seep through the deck and onto the rails.

4.3 Concrete Deck

As mentioned above, the large vertical cracks in the deck will likely promote further corrosion of the transverse rail beams and in turn the ten main taper flange beams. The deck appears to be unreinforced and relies upon the rail beams to transfer load to the main beams. This is not a structurally effective method for transferring the weight of the concrete deck.

4.4 Concrete Abutments & Wing Walls

The cracking to the wing walls and the etching to the abutments and wing walls requires remedial action. Repair of the cracked wing walls is likely to comprise localised demolition and replacement of concrete or, if cracking is not too deep, shallower demolition and concrete patch repair. Repair of the etching would involve widespread, but shallow, patch repair of both abutments

4.5 Bridge

The final type and extent of remedial action will depend upon the findings of a load rating. If the beams (and probably the transverse beams) have a load rating that is unsuitable to MRWA and/or the Shire, and with consideration to the other widespread defects and inadequacies, replacement of the bridge is likely to be a cost effective remedial action.

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Remedial options would include:

1. Replacement with a with pre-cast beam bridge
2. Replacement with a reinforced concrete box culvert

The final option adopted will need to consider the discharge from the adjacent pedestrian bridge.

5. Recommendations

Due to the significant and widespread corrosion of the main beams, it is recommended that a load rating be performed to assess the capacity of the bridge prior to determining any future remedial approach.

If the bridge is to re-open prior to remediation, Beams 5 and 9 (as a minimum) will require propping.

If the bridge is to be replaced, future preliminary designs should consider a pre-cast beam bridge and a reinforced concrete box culvert as options.

DRAFT.

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Appendix A - Photographs

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Photograph 1: Top of bridge from Approach 1.



Photograph 2: Top of bridge from Approach 2.

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Photograph 3: Left Hand Side of Bridge.



Photograph 4: Right Hand Side of Bridge.

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Photograph 5: Underside of bridge – note widespread corrosion to beams.



Photograph 6: Typical abutment (Abutment 2).

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Photograph 7: Corrosion perforation to Abutment 1 end of Beam 9.



Photograph 8: Corrosion perforation to Abutment 2 end of Beam 9.

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Photograph 9: Typical corrosion to beams and transverse beams.



Photograph 10: Typical corrosion to beams and transverse beams.

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Photograph 11: Crack to concrete deck edge.



Photograph 12: Cracking to Abutment 1 Left Hand Side Wing Wall.

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Photograph 13: Pedestrian bridge to left hand side of Bridge 5029.



Photograph 14: Scour behind Abutment 1 Left Hand Side Wing Wall.

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GHD

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P.O. Box 3106, Perth WA 6832
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Document1

Document Status

| Rev No. | Author | Reviewer | | Approved for Issue | | |
|---------|------------|------------|-----------------|--------------------|-----------------|-----------|
| | | Name | Signature | Name | Signature | Date |
| 0 | Ryan Adams | Tod Harris | <i>T Harris</i> | Tod Harris | <i>T Harris</i> | 24/7/2015 |
| | | | | | | |
| | | | | | | |

SHIRE OF NORTHAM
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APPENDIX C



ABN: 50 860 676 021

Enquiries: Brendan Marsh on 9622 4777
Our Ref: 01/541
Your Ref:

16 April 2004

Chief Executive Officer
Shire Of Northam
PO Box 613
NORTHAM WA 6401

ATTENTION: ALLAN MIDDLETON

| | |
|-------------------------------------|------------|
| SHIRE OF NORTHAM RECEIVED | |
| 19 APR 2004 | |
| FILE 62.1.1 | STATUS NFA |
| DOC I1243 | RES. No |

Dear Sir

BRIDGE INSPECTION REPORTS

Please find enclosed a detailed bridge inspection report to assist with the management of your bridge program.

The report enclosed is for Bridge Number 5029;

- Spencers Brook Road crossing Warranine Brook.

Please note the importance of the Routine Maintenance items.

If you require any further information please contact me on 9622 4777. In reply please quote file reference 01/541

Yours faithfully

Brendan Marsh
ACTING ASSET MANAGER STRUCTURES

Enc

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Government of
Western
Australia

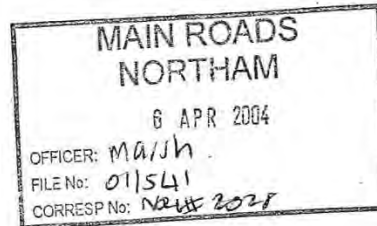


ABN: 50 860 676 021

Enquiries: Bruce Hall on 9323 4556
Our Ref: 51-5029-15
Your Ref:

**ASSET MANAGER STRUCTURES
WHEATBELT NORTH REGION**

STRUCTURE No.: 5029
OVER: Warranine Brook
AT SLK: 21.02
ON: Spencers Brook Rd
ROAD No.: 4210020
LGA: Northam



1. Please find enclosed two copies of the detailed inspection report for the above Local Authority structure.
2. Attached is a schedule of routine and specific maintenance items that are required to be undertaken in order to maintain structural integrity and extend the life of the Structure.
3. The maintenance items have been entered into IRIS for programming purposes.

Bruce Hall
BRIDGE CONDITION MANAGER

February 20 2004

Enc

SHIRE OF NORTHAM

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DETAILED BRIDGE INSPECTION REPORT



GUARD RAIL INFORMATION

Structure Number: 5029

Date: 6-Feb-2004

| GUARD RAIL TYPE | APPROACH 1 | | ON BRIDGE | | APPROACH 2 | |
|--|------------|-----|-----------|-----|------------|-----|
| | LHS | RHS | LHS | RHS | LHS | RHS |
| 0 - None | | | | | | |
| 01 - Guide Posts Only | | | | | | |
| 02 - Timber | | | | | | |
| 03 - Tubular steel | | | | | | |
| 04 - Reinforced Concrete | | | | | | |
| 05 - Timber Posts with W Beam | | | | | | |
| 06 - Timber Posts with W Beam & Timber Top Rail | | | | | | |
| 07 - Timber Posts with W Beam & Steel Top Rail | | | | | | |
| 08 - Steel Posts with 1 Timber Rail | | | | | | |
| 09 - Steel Posts with 2 Timber Rails | | | | | | |
| 10 - Steel Posts with W Beam | Y | Y | Y | Y | Y | Y |
| 11 - Steel Posts with W Beam & Timber Top Rail | | | | | | |
| 12 - Steel Posts with W Beam & Steel Channel Top Rail | | | | | | |
| 13 - Steel Posts with W Beam & Steel Pipe Top Rail | | | | | | |
| 14 - Steel Posts with Thriebeam | | | | | | |
| 15 - Steel Posts with Thriebeam and Steel Channel Top Rail | | | | | | |
| 16 - Steel Posts with 1 Steel Pipe Rail | | | | | | |
| 17 - Steel Posts with 2 Steel Pipe Rails | | | | | | |
| 18 - Steel Posts with 3 Steel Pipe Rails | | | | | | |
| 19 - Steel Posts with 1 RHS Rail | | | | | | |
| 20 - Steel Posts with 2 RHS Rails | | | | | | |
| 21 - Steel Posts with 3 RHS Rails | | | | | | |
| 22 - Reinforced Concrete Posts with 1 Steel Pipe Rail | | | | | | |
| 23 - Reinforced Concrete Posts with 2 Steel Pipe Rails | | | | | | |
| 24 - Reinforced Concrete Posts with 3 Steel Pipe Rails | | | | | | |
| 25 - Reinforced Concrete Posts with W Beam | | | | | | |
| 26 - Steel Balustrading | | | | | | |
| 27 - Steel Balustrading with W Beam | | | | | | |
| 28.- Steel Balustrading with RHS | | | | | | |
| 29 - Bailey Bridges | | | | | | |
| 30 - Other | | | | | | |

| Location | No of Posts off Bridge | End Treatment Type | Length of Guardrail off Bridge * | Location of Min Distance – Eg Third post off Bridge | Location of Hinge point |
|----------|------------------------|--------------------|----------------------------------|---|-------------------------|
| A1 LHS | 2 | 3 | 4.50 | 2 | 0 |
| A1 RHS | 2 | 2 | 4.80 | 6 | 0.9 |
| A2 LHS | | 3 | 4.70 | 2 | 0 |
| A2 RHS | 2 | 2 | 4.60 | 6 | 0 |

Types of End Treatments

1. None 2 Fishtail 3. Bullnose 4. Extruder 5.Crash Cushion 6. Turndown 7. Other

* Centre Line of abutment to end of Guardrail.

Structural Problem Found Y/N Y If Yes, detail on comments sheet:

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Cr C R Antonio declared an "Indirect Financial" interest in item 13.5.2 - Tender 19 of 2015 - Tree Pruning, Tree Removal and Associated Works as the applicant is a client of his employer. Applicant pays fees to his employer, who pay his salary.

Cr S B Pollard declared an "Impartiality" interest in item 13.5.2 - Tender 19 of 2015 - Tree Pruning, Tree Removal and Associated Works as the Director of Specialised Tree Services P/L, Randle Beavis, is well known to him.

Cr U Rumjantsev declared an "Impartiality" interest in item 13.5.2 - Tender 19 of 2015 - Tree Pruning, Tree Removal and Associated Works as Specialised Tree Services (Randle Beavis). Good friend, well known to him via various committees. Also, Specialised Tree Services have completed much work on his property and may be ongoing.

13.5.2 TENDER 19 OF 2015 - TREE PRUNING, TREE REMOVAL AND ASSOCIATED WORKS

| | |
|--------------------|-------------------------------------|
| Name of Applicant: | Internal Report |
| Name of Owner: | N/A |
| File Ref: | 8.2.9.1 |
| Officer: | Clinton Kleynhans / John Rutherford |
| Officer Interest: | Nil |
| Policy: | F3.2 Purchasing and Tendering |
| Voting: | Majority |
| Date: | 30 November 2015 |

PURPOSE

For Council to approve the award of RFT 19 of 2015 for Tree Pruning, Tree Removal and Associated Works for a period of one (1) year with an option to extend annual to a maximum of three (3) years.

BACKGROUND

Request for tenders were called on the 21st October 2015 in the West Australian. The tender closed on Thursday 19th November 2015.

Tenderers were invited to provide a schedule of rates to deliver works under contract for Tree Pruning, Tree Removal and Associated Works as directed by the Principal or its nominated representative.

Employee's present at the tender opening were Operations Manager and Project / Contract Administration Officer.

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Tenders were independently assessed by the Parks and Gardens Supervisor, and Operations Manager.

STATUTORY REQUIREMENTS

Section 3.57 of the Local Government Act 1995;

Local Government (Functions & General) Regulations 1996 prescribe the manner in which Tenders are to be assessed.

In addition to the above, Council has an adopted Policy with respect to Regional Price Preference as set out below:

“F 3.4 Regional Price Preference

Policy: *Council’s Regional Price Preference for locally produced goods and services will apply to all goods and services for which tenders are let, unless the Shire of Northam determines otherwise, and is to be:*

Up to 10% with the contract is for goods and services, up to a maximum priced reduction of \$50,000.”

This policy has been applied within the tender assessment process.

CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN

Objective: Provide and support an effective and efficient transport network.

Strategy: Maintain an efficient, safe and quality road network.

FINANCIAL IMPLICATIONS

A provisional sum of \$100,000 ex. gst has been included in the adopted 2015/16 Budget for the delivery of these works.

OFFICER’S COMMENT

There was one (1) tender submissions received for the advertised Tender, this was:

1. Specialised Tree Services.

The submission was assessed against the following pre-determined criteria’s:

Compliance Criteria

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- Compliance with the conditions in the request;
- Compliance with Specification;
- Financial capacity to perform the works;
- Intent to Sub-Contract;
- Declare any conflict of interest;
- Quality assurance;
- Occupational Health and Safety requirements;
- Insurance coverage;
- Public Consultation

Qualitative Criteria (Scored)

- | | |
|------------------------------|-----|
| • Pricing | 50% |
| • Relevant Experience | 25% |
| • Timeliness of Delivery | 15% |
| • Safety and Risk Management | 10% |

Further detail is provided in the attached Appendices.

The Evaluation Panel recommends the contract be awarded to Specialised Tree Services, as the preferred supplier.

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2613

Moved: Cr Tinetti

Seconded: Cr Proud

That Council award Tender No.19 of 2015 to Specialised Tree Services for the alternative tender submitted, delivering the contract under the supplied schedule of rates for a period of one (1) year with an option to extend annually based on performance up to a maximum of three (3) years

CARRIED 9/0

Cr Antonio returned to the Council Chambers at 6.29pm.

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Shire of Northam

EVALUATION REPORT

RFT 19 of 2015 – Tree Pruning, Tree Removal and Associated Works.

Prepared by Sue Connell
30 November 2015

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Tender 19 of 2015
Tree Pruning, Tree Removal and
Associated Works



BACKGROUND

Title

The Shire of Northam issued a Request for Tender for Tree Pruning, Tree Removal and Associated Works.

Scope

This specification covers the works and services to be performed for Tree Pruning as directed by the Principal or its nominated representative.

Refer to Tender Document for details Scope of Works.

Contract Period

The contract is for a period of one (1) year with an option to extend annual to a maximum of three (3) years.

Tendering Budget

The work to be performed is identified in the 2015/16 budget for a budgeted sum of \$100,000.00 per financial year.

RFT PROCESS

Council Approval

Tenderers were invited to provide a schedule of rates that should have a validity period of Ninety (90) Days.

Works and services to be completed under contract(s) will be for the provision of:

Tree Pruning, Tree Removal and Associated Works.

Advertising Details

Request for tenders were advertised on Wednesday 21st October 2015 in the Western Australian Newspaper.

RFT Closing Date

The tender closed on Thursday 19th November 2015.

Tenders Received

Tender submissions were received from the following organisations:

- (a) Specialised Tree Services

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Tender 19 of 2015
Tree Pruning, Tree Removal and
Associated Works



THE EVALUATION

Participants

An evaluation panel assessed each tender submission. Details on members of the panel are contained within the below table.

| Name | Organisation | Title | Basis of Participation |
|-------------------|---------------------|--|-------------------------------|
| John Rutherford | Shire of Northam | Parks & Gardens Supervisor | Lead Assessor |
| Tracey Pearce | Shire of Northam | Operations Manager | Assessor |
| Clinton Kleynhans | Shire of Northam | Executive Manager Engineering Services | Assessor |

Compliance Evaluation

A. Compliance Criteria

The compliance criteria for this RFT were:

- Compliance with the conditions in the request;
- Occupational Health and Safety;
- Risk Assessment of:
 - o Financial capacity to perform the works;
 - o Intent to Sub-Contract;
 - o Potential conflict of interest;
 - o Insurance coverage;
 - o Quality assurance;

Compliance Criteria were evaluated on a "Yes/No" basis. All submissions were processed through to the qualitative/price evaluation on the basis that all compliance criteria had been met.

B. Qualitative Assessment

The qualitative criteria for this tender were:

- (a) Pricing (50%)
- (b) Experience (25%)
- (c) Timeliness (15%)
- (d) Safety & Risk (10%)

The qualitative assessment was completed on 30 November 2015

C. Qualitative Scores & Pricing

For Scoring and pricing refer to the following appendices;

Appendix A - Evaluation Matrix

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Tender 19 of 2015
Tree Pruning, Tree Removal and
Associated Works



Appendix B – Pricing Summary

D. Short-listing

Specialised Tree Services.

Referee Reports

There were no references contacted for this tender as the Shire of Northam have worked with them previously.

| Referee Contact | Comments |
|-----------------|----------|
| | |

RECOMMENDATION FOR AWARD

Giving consideration that there was only one (1) tender submitted it is recommended Specialised Tree Services is awarded this Tender on the basis of having best value for money offered to the Principal.

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Tender 19 of 2015
Tree Pruning, Tree Removal and
Associated Works



Recommended by Evaluation Panel Assessors

| | | | | | |
|------|-------------------|------|---|---|---|
| Name | John Rutherford | | | | |
| Sign | _____ | Date | / | / | / |
| Name | Tracey Pearce | | | | |
| Sign | _____ | Date | / | / | / |
| Name | Clinton Kleynhans | | | | |
| Sign | _____ | Date | / | / | / |

Approved by CEO

| | | | | | |
|------|-----------------|------|---|---|---|
| Name | Jason Whiteaker | | | | |
| Sign | _____ | Date | / | / | / |

Endorsed by Council

| | | | |
|------|---|---|---|
| Date | / | / | / |
|------|---|---|---|

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15. NEW BUSINESS OF AN URGENT NATURE INTRODUCED BY DECISION OF MEETING

15.1. Elected Members

Nil.

15.2. Officers

Nil.

16. CONFIDENTIAL ITEMS

COUNCIL DECISION

Minute No: C.2614

Moved: Cr Little
Seconded: Cr Tinetti

That Council meet behind closed doors to discuss agenda item 16.1 – Premier’s Australia Day Active Citizenship Award 2016 in accordance with section 12.5 of the Shire of Northam Standing Orders Local Law 2008.

CARRIED 10/0

The Gallery departed the Council Chambers at 6.31pm.

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Cr U Rumjantsev declared an "Impartiality" interest in item 16.1 - Premier's Australia Day Active Citizenship Award 2016 as [REDACTED] is known to him, more so to his wife Patricia Rumjantsev. [REDACTED] is well known to him through his activities with the (NACHA) Northam Heritage Forum, & AVVVA Avon Valley Vintage Vehicle Association.

Cr D A Hughes declared an "Impartiality" interest in item 16.1 - Premier's Australia Day Active Citizenship Award 2016 as [REDACTED] are well known to him.

16.1 PREMIER'S AUSTRALIA DAY CITIZENSHIP AWARDS 2016

| | |
|--------------------|-----------------------------------|
| Name of Applicant: | Internal Report |
| Name of Owner: | N/A |
| File Ref: | 1.3.3.2 |
| Officer: | Ross Rayson / Michelle Blackhurst |
| Officer Interest: | N/A |
| Policy: | Nil |
| Voting: | Simple Majority |
| Date: | 2 December 2015 |

PURPOSE

The purpose of this report is to request Council to select the winners for the Australia Day Active Citizenship Awards for the Shire of Northam.

Council undertook the process of secret ballot to determine the award winners.

RECOMMENDATION / COUNCIL DECISION

Minute No: C.2615

Moved: Cr Rumjantsev

Seconded: Cr Davidson

That Council;

- 1. Award the Premier's Australia Day Active Citizenship Award to [REDACTED]**
- 2. Award the Premier's Australia Day Active Citizenship Award for a person under 25 years to [REDACTED]**
- 3. Award the Premier's Australia Day Active Citizenship Award for a Community Group or Event to [REDACTED]**

CARRIED 10/0

SHIRE OF NORTHAM
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COUNCIL MEETING HELD ON 16 DECEMBER 2015

COUNCIL DECISION

Minute No: C.2616

Moved: Cr Rumjantsev
Seconded: Cr Antonio

That Council, move out from behind closed doors.

CARRIED 10/0

The Gallery returned to the Council Chambers at 6.39pm.

17. DECLARATION OF CLOSURE

There being no further business, the Shire President, Cr S B Pollard declared the meeting closed at 6.40pm.

"I certify that the Minutes of the Ordinary Meeting of Council held on Wednesday, 16 December 2015 have been confirmed as a true and correct record."

_____ President

_____ Date